



THE PRINCE GEORGE'S COUNTY GOVERNMENT

BOARD OF ZONING APPEALS

BOARD OF ADMINISTRATIVE APPEALS

WAYNE K. CURRY COUNTY ADMINISTRATION BUILDING, LARGO, MARYLAND 20774
TELEPHONE (301) 952-3220

NOTICE OF FINAL DECISION

OF BOARD OF APPEALS

RE: Case No. V-132-21 Charles and Denise Shelton

Enclosed herewith is a copy of the Board Order setting forth the action taken by the Board of Appeals in your case on the following date: February 9, 2022.

CERTIFICATE OF SERVICE

This is to certify that on August 30, 2022, the above notice and attached Order of the Board were mailed, postage prepaid, to all persons of record.

A handwritten signature in black ink, appearing to read "Barbara J. Stone".

Barbara J. Stone
Administrator

cc: Petitioner
Adjoining Property Owners
M-NCPPC, Permit Review Section
DPIE/Building Code Official, Permitting

BEFORE THE BOARD OF APPEALS FOR PRINCE GEORGE'S COUNTY, MARYLAND
Sitting as the Board of Zoning Appeals

Petitioners: Charles and Denise Shelton

Appeal No.: V-132-21

Subject Property: Lot 97, Block A, Waterford-Plat 1 Subdivision, being the 12803 Contee Manor Road, Bowie, Prince George's County, Maryland

Witness: Winston Cox, Assistant to Petitioners

Heard: January 12, 2022; Decided: February 9, 2022

Board Members Present and Voting: Bobbie S. Mack, Chairperson
Albert C. Scott, Vice Chairman
Anastasia T. Johnson, Member

RESOLUTION

This appeal is brought before the Board of Appeals, sitting as the Board of Zoning Appeals for the Maryland-Washington Regional District in Prince George's County, Maryland (the "Board"), requesting variances from the strict application of the provisions of Subtitle 27 of the Prince George's County Code (the "Zoning Ordinance").

In this appeal, a proceeding pursuant to Section 27-229 of the Zoning Ordinance, Petitioners request that the Board approve variances from Section 27-442(b)(Table I) which prescribes that each lot shall have a minimum net lot area of 87,120 feet. Section 27-442(c)(Table II) prescribes that not more than 10% of the net lot area shall be covered by buildings and off-street parking. Petitioners propose to validate an existing condition (net lot area) and obtain a permit building for the construction of a pool house. Variances of 34,290 square feet net lot area¹ and 1.6% net lot coverage are requested.

Evidence Presented

The following testimony and record evidence were considered by the Board:

1. The property was subdivided in 2006, contains 52,830 square feet, is zoned R-A (Residential Agricultural) and is improved with a single-family dwelling, driveway, deck, gazebo, shed and garage. Exhibit (Exhs.) 2, 4, 7, 8 and 9 (A) thru (G).
2. The subject property is located on a cul-de-sac and is irregular in shape as the front yard contours to the curve of the cul-de-sac. The rear yard property line is angled abutting a conservation easement. Exhs. 2, 4, 7, 8 and 9 (A) thru (G).
3. Petitioners propose to obtain a permit building for the construction of a pool house. A variance of 1.6% net lot coverage is required as the total lot coverage including the house, driveway, gazebo and proposed pool house exceeds the allowable 10% net lot coverage. Currently, the net lot coverage is at 11.6% requiring a variance of 1.6% net lot coverage. Exhs. 2, 4, 7, 8 and 9 (A) thru (G).
4. Waterford Mill Homeowners Association, Inc, has approved the requested proposal for the pool house. Exhs. 23 and 24.

¹ Preliminary Plan 04-24; File No. 4-03111 and 5-06070 allows Varying Lot Sizes within this development - The applicant is proposing to use varying lot sizes as permitted by the Prince George's County Zoning Ordinance. Unlike the provision for the use of Lot Size Averaging (R-55, R-80, R-R and R-E Zones), the use of varying lot sizes in the R-A and O-S Zones does not require specific findings for approval. Only the minimum standards outlined in the Zoning Ordinance must be met. 27-442 Footnote 5 allows the lot to be reduced to one acre (43,560 sq. ft). Therefore, a variance for net lot area is not required for the subject property.

5. Petitioner Charles Shelton testified that they would like a pool house in the back yard to allow their grandchildren and guests to be able to change clothes and use the restroom. Exhs. 2, 3 (a) thru (y) and 5 (A) thru (D).

6. Petitioner Denise Shelton opined that the pool house will not block the view of neighbors.

7. She stated that several other neighbors are also constructing pool houses and opined that the proposed pool house will not be out of character for the neighborhood.

8. She explained that they are active swimmers and uncomfortable in a public pool due to Covid. She stated that they want to make sure that the swimming area for family and friends is safe and self-contained. She stated that this is their retirement house and would like to enjoy the pool in their retirement years. Exhs. 2, 3 (a) thru (y) and 5 (A) thru (D).

Applicable Code Section and Authority

Section 27-230 of the Zoning Ordinance authorizes the Board to grant variances when, by reason of exceptional narrowness, shallowness, shape, topography, or other extraordinary situation or condition of specific parcels of property, the strict application of the Zoning Ordinance would result in peculiar and unusual practical difficulties or an exceptional or undue hardship upon the owner of the property, provided such relief can be granted without substantial impairment of the intent, purpose and integrity of the General Plan or Master Plan.

Findings of the Board

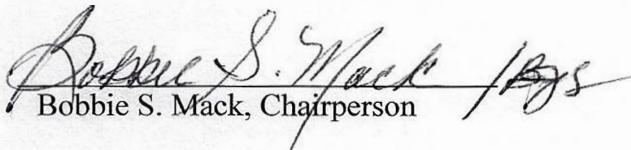
After hearing all the testimony and reviewing the evidence of record, the Board finds that the requested variances comply with the applicable standards set forth in Section 27-230, more specifically:

Due to the preexisting development, petitioners desire to utilize the proposed pool house for social and safe enjoyment of the swimming pool area for themselves, family and friends, the net lot variance is de minimis and the character of the neighborhood, granting the relief requested would not substantially impair the intent, purpose and integrity of the General Plan or Master Plan, and denying the request would result in a peculiar and unusual practical difficulty upon the owners of the property.

BE IT THEREFORE RESOLVED, unanimously, that a variance of 1.6% net lot coverage in order to validate an existing condition (net lot area) and obtain a permit building for the construction of a pool house on the property located at 12803 Contee Manor Road, Bowie, Prince George's County, Maryland, be and are hereby APPROVED. Approval of the variances are contingent upon development in compliance with the approved revised site plan, Exhibits 20 (A) thru (D) and approved revised elevation plans, Exhibits 21 (a) thru (y).

BOARD OF ZONING APPEALS

By:


Bobbie S. Mack, Chairperson

NOTICE

Within thirty (30) days from the date of this decision, any person, firm, corporation, or governmental agency who was a party to the Board's proceedings and is aggrieved by its decision may file an appeal to the Circuit Court of Prince George's County.

Further, Section 27-233(a) of the Prince George's County Code states:

A decision of the Board, permitting the erection of a building or structure, shall not be valid for more than two (2) years, unless a building permit for the erection is obtained within this period and the construction is started and proceeds to completion in accordance with the terms of the decision and the permit.

BOARD OF APPEALS

APPROVED FEB 09 2022
/Administrator

GENERAL SITE CONSTRUCTION NOTES

- HUSKA CONSULTING, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY, ACCIDENTS OR SUPERVISION, HUSKA CONSULTING, LLC IS NOT RESPONSIBLE FOR ANY CONSTRUCTION DAMAGE OR INJURY TO ANY PERSON, VEHICLE, EQUIPMENT, OR PROPERTY ON OR NEAR THE CONSTRUCTION SITE.
- HUSKA CONSULTING, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SITE SECURITY, SECURITY IS THE RESPONSIBILITY OF THE PROPERTY SITE SECURITY WITH THE OWNER AS REQUIRED AND APPROPRIATE.
- THE PROJECT PROPERTY IS NOT RESPONSIBLE FOR CONSTRUCTION SITE SECURITY, SECURITY IS THE RESPONSIBILITY OF THE PROPERTY SITE SECURITY WITH THE OWNER AS REQUIRED AND APPROPRIATE.
- BEFORE COMMENCING CONSTRUCTION, CALL 'TAXS' UTILITY TO FIELD MARK UNDERGROUND UTILITIES. FOLLOW MISS UTILITY REQUIREMENTS. NO MECHANIZED EQUIPMENT MAY BE USED WITHIN 24 INCHES OF A GAS LINE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION ACTIVITIES. THIS INCLUDES, BUT IS NOT LIMITED TO, ANY DESIGN PERMIT PROCESS, INSPECTIONS, AND closeouts. ALL PERMITS MUST BE OBTAINED, INCLUDING PUBLIC SPACE EXCAVATION, OCCUPANCY, AND TRAFFIC CONTROL. PLANS IFAS REQUIRED.
- THE EXTENT OF EXISTING STRUCTURES (INCLUDING UNDERGROUND FEATURES) MAY NOT BE DEPICTED ON THE PLANS.
- THE CONTRACTOR MAY MAKE FIELD ADJUSTMENTS TO ACCOMMODATE EXISTING CONDITIONS IF AUTHORIZED BY THE CLIENT, THE CLIENT'S REPRESENTATIVE, OR HUSKA CONSULTING, LLC.
- ALL GENERAL NOTES ARE FOR TYPICAL CONSTRUCTION ACTIVITIES. THEY MAY INCLUDE INFORMATION THAT IS NOT APPLICABLE TO THE SCOPE OF THIS PROJECT.
- THE VARIOUS CODES AND STANDARDS WHICH ARE SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THEY DO NOT NECESSARILY REPRESENT THE MOST CURRENT OR COMPLETE STANDARDS REQUIRED FOR THE CONSTRUCTION. THE CONTRACTOR MUST REFER TO THE CORRECT, APPLICABLE CODES AND STANDARDS.
- ACCESS TO THE PROJECT PROPERTY AND ALL SURROUNDING AREAS MUST BE MAINTAINED FOR ALL EMERGENCY SERVICES, PEDESTRIANS, AND DELIVERIES IF REQUIRED AND AS APPROPRIATE. ACCESS TO FIRE HYDRANTS MUST NOT BE IMPAIRED.
- THE CONTRACTOR SHALL RESTORE OR REPLACE ANY ITEMS TO REMAINTHAT ARE DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR MUST MAINTAIN A SET OF CONSTRUCTION PLANS WHICH HAVE BEEN MARKED UP TO ACCURATELY CONVEY THE CONSTRUCTION WHICH HAS DEVIATED FROM THE APPROVED CONSTRUCTION PLANS. THESE PLANS MUST BE PROVIDED TO THE CLIENT, THE CONTRACTOR, OR HUSKA CONSULTING, LLC PRIOR TO THE PROJECT CLOSEOUT.

GENERAL PAVEMENT NOTES

- EXISTING PAVEMENT TO BE REPLACED SHALL AT MINIMUM MATCH THE EXISTING CROSS SECTION.
- EXISTING CURB AND/OR GUTTER TO BE REPLACED SHALL MATCH EXISTING TYPE, MATERIAL, AND DIMENSIONS.
- SAW CUT EXISTING ASPHALT PAVEMENT 1' FROM EDGE OF NEW CURB AND/OR GUTTER FOR REPLACEMENT.
- MILL AND OVERLAY EXISTING ASPHALT PAVEMENT 1' FROM EDGE OF NEW PAVEMENT TO PROVIDE SMOOTH TRANSITION.
- MILL AND OVERLAY EXISTING ASPHALT PAVEMENT 10' FROM EITHER SIDE OF UTILITY TRENCHES IN PUBLIC SPACE, EXTENDED TO THE FULL WIDTH OF ANY AFFECTED TRAVEL LANES;

GENERAL UTILITY NOTES

- THE CONSTRUCTION WORK SHALL BE COMPLETED IN SUCH A WAY AS TO MINIMIZE UTILITY OUTAGES. ALL UTILITY OUTAGES MUST BE COORDINATED WITH THE UTILITY OWNER AND AFFECTED PARTIES.
- SOME EXISTING UTILITIES MAY NOT BE SHOWN ON THE PLANS. BEFORE BEGINNING CONSTRUCTION, VERIFY THE EXISTENCE AND LOCATION OF EXISTING UTILITIES AND PIT AS REQUIRED TO DETERMINE LOCATIONS AND DEPTHS OF EXISTING UTILITIES WITHIN THE CONSTRUCTION WORK AREA. IF ANY EXISTING UTILITIES ARE FOUND WHICH ARE NOT DEPICTED IN THE EXISTING CONDITIONS PLAN OR CONFLICT WITH THE PROPOSED WORK NOTIFY HUSKA CONSULTING, LLC.
- NOTIFY HUSKA CONSULTING, LLC IF COVER FOR ANY UTILITY IS REQUIRED BELOW THE MINIMUM REQUIRED.
- THE SITE CH-1 PLAN IS MEANT TO CONVEY 'NET' (SANITARY SEWER, STORM SEWER, AND WATER) UTILITY WORK. ALL DRY (ELECTRIC, NATURAL GAS, TELECOMMUNICATIONS) UTILITY WORK SHOWN IS FOR INFORMATION AND REFERENCE ONLY. REFER TO THE DRY UTILITY AND/OR MIP PLANS FOR DRY UTILITY WORK.
- REFER TO USES STANDARDS FOR ABANDONMENT OF EXISTING SANITARY SEWER AND WATER LATERALS AND MAINS. NOTE THIS INVOLVES DISCONNECTING ALL LATERALS AT THE MAINS, PLUGGING AND SEALING THE MAINS, AND REMOVING ALL ABANDONED METERS, VALVE S, AND APPURTENANCES. COORDINATE WITH THE DRY WATER INSPECTOR.
- ALL LYWE CONNECTIONS TO EXISTING SEWER LINES SHALL MATCH THE EXISTING SIZE AND MATERIAL.
- ALL WATER SERVICE LATERALS SHALL BE PROVIDED WITH A VALVE LOCATED AT THE PROPERTY LINE. IF PERSONAL VALVES ARE NECESSARY DUE TO PIPING CONDITIONS AND CONFLICTS WITH OTHER UTILITIES IN CORROBORATION WITH THE WSSC WATER INSPECTOR, A DIP SWALE (TIAW A111) MAY BE USED.
- REFER TO WSSC WATER STANDARDS AND SPECIFICATIONS FOR WATER PIPE MATERIAL. ALL WATER LINES 2" IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER AND ALL WATER LINES 3" AND LARGER SHALL BE DUCTILE IRON PIPE (WPI) AS SHOWN ON THE PLANS.
- BACKFIRE PROTECTION VALVES FOR ALL CONNECTIONS TO FIRE SUPPRESSION SYSTEMS, FIRE HYDRANT METERS, IRRIGATION SYSTEMS, AND COMMERCIAL AND INDUSTRIAL SYSTEMS SHALL BE PROVIDED.
- REMOVE ABANDONED UTILITIES AS REQUIRED.
- ADJUST EXISTING STRUCTURE TOPS AND MANHOLES TO REMAIN WITHIN THE LIMITS OF DISTURBANCE TO MATCH FINISH GRADE AS REQUIRED. INSTALL ADDITIONAL STEPS WITHIN MANHOLES AS REQUIRED.
- REFER TO THE WSSC GENERAL UTILITY NOTES AND UTILITY DETAILS FOR ADDITIONAL INFORMATION.
- ALL EXCAVATION WITHIN 2' OF A GAS LINE MUST BE DONE BY HAND.

GENERAL GRADING NOTES

- THE SITE MUST BE GRADED AND PAVED SO THAT NO NEW LOW POINTS WITHOUT PROPER DRAINAGE ARE CREATED; NO PONDING SHALL OCCUR ON SITE UNLESS PROPERLY CALLED FOR OTHERWISE ON THE STORMWATER MANAGEMENT PLAN WITHIN THE FACILITIES OR ON THE SEWAGE CONTROL PLAN WITHIN SEWAGE TRAPS OR GAS LINES.
- ALL PAVED SURFACES SHALL BE AT A 0.5% MINIMUM SLOPE AND ALL GRASSED AND LANDSCAPED AREAS SHALL BE AT A 2.5% MINIMUM SLOPE TO FACILITATE PROPER DRAINAGE AND ELIMINATE STANDING WATER.
- SPOT ELEVATIONS SHOWN AT THE IN-POINTS WITH EXISTING SURFACES ARE SHOWN APPROXIMATE, AND SHALL BE VERIFIED BY THE CONTRACTOR. APPROXIMATE ELEVATIONS SHALL BE APPROVED BY APPROVAL FROM HUSKA CONSULTING, LLC TO MATCH EXISTING GRADE.
- LAWNS/GRASS AREAS AT LEAST 5 FEET BY 5 FEET MUST BE PROVIDED AT ALL EXTERIOR CORNERS WITH A SLOPE LESS THAN 2% IN ANY DIRECTION.
- ANY UNSUITABLE IN-SITU SOIL, OR MATERIAL MUST BE REMOVED OR REMEDIATED PER DIRECTION FROM THE GEOTECHNICAL ENGINEER.
- REFER TO THE SITE NOTES AND DETAILS FOR ADDITIONAL INFORMATION.

SITE PLAN FOR PROJECT

LOCATION OF SITE
12680 COUNTEES MANOR RD
LOT 0097, BLOCK A, TAX PARCEL 007-3750-042
CHARLES & DENISE GELTON, OWNER 37840 AND FOBJC 00527

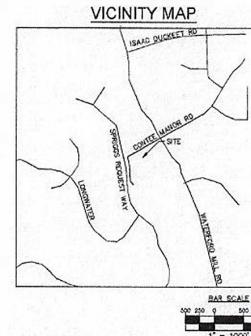
SITE CIVIL ENGINEERING SHEET INDEX	
SHEET TITLE	SHEET #
COVER AND GENERAL NOTES SHEET	CV-000
EXISTING CONDITIONS	CV-100
SITE PLAN	CV-200

PROJECT
12680 COUNTEES MANOR RD
CHARLES, MD 20721
BLOCK A, LOT 0097

ARCHITECT
ADVANCED HOUSEPLANS
1401 N 20TH ST
ELKHORN, NE 68022
402.445.0408

POOL CONTRACTOR
STEVENS POOL
1521 1/2 15TH ST, DLR
OWINGS, MD 20738
301.251.6512

CIVIL ENGINEER
PATRICK MORGAN
HUSKA CONSULTING, LLC
1020 23RD STREET, NW
WASHINGTON, DC 20007
703.425.3802



(A)

20(A-D)

V-132-23

HUSKA CONSULTING, LLC
NOT FOR CONSTRUCTION
100% DEVELOPED
DESIGN
05/03/2021
DRAWING NO.

SEAL
COVER AND
GENERAL
NOTES SHEET

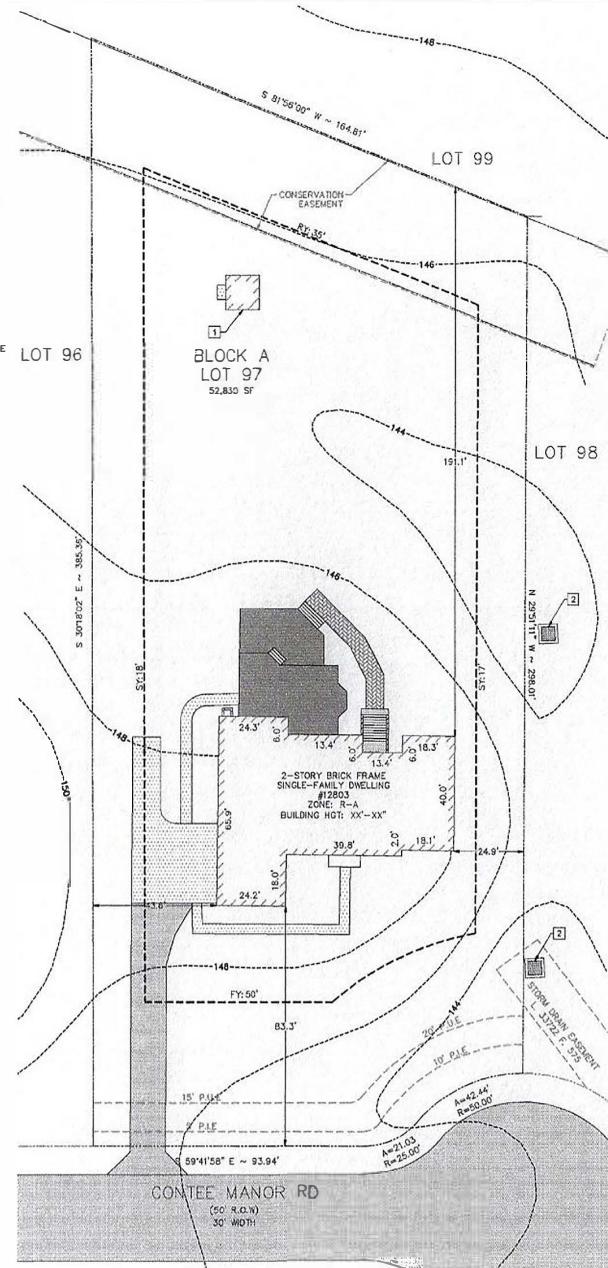
CV-000

EXISTING CONDITIONS PLAN LEGEND

PROPERTY LINE	GAS LINE
ADJACENT PROPERTY LINE	GAS METER
BUILDING RESTRICTION LINE	GAS VALVE
BUILDING FACE	OVERHEAD UTILITY
DOOR	12" CS
WALL	COMBINED SEWER
WOOD FENCE	12" SAN
IRON FENCE	12" STM
HANDRAIL	STORM SEWER
CURB AND GUTTER	COMBINED/SANITARY MANHOLE
BOLLARD	STORM SEWER MANHOLE
ASPHALT PAVEMENT	STORM DRAIN
STONE PAVERS	CLEANOUT
CONCRETE PAVEMENT	DOWNSPOUT
WOOD/LUMBER DECK	TELECOMMUNICATIONS
SPOT ELEVATION	TELECOMMUNICATIONS MANHOLE
CONTOUR	LIGHT POLE/STREET LIGHT
TREE W/ CRZ & SRZ	UTILITY POLE
TRAFFIC SIGN	GUY WIRE
ELECTRIC LINE	WATER LINE
ELECTRIC MANHOLE	FIRE DEPT. CONN.
ELECTRIC METER	WATER METER
ELECTRIC VAULT	WATER VALVE

EXISTING CONDITIONS PLAN KEYNOTES

- 1 EXISTING 12'x12' WOOD SHED
- 2 EXISTING YARD W/ET, OUTLET PIPE ALIGNMENT, SIZE, AND SLOPE UNKNOWN



CONTEE MANOR RD
(50' R.O.W.)
30' WOTH

BOARD OF APPEALS

APPROVED FEB 09 2022

B. Shire
ADMINISTRATOR

(B)

EXISTING CONDITIONS PLAN NARRATIVE

THE PROPERTY IS 50,830 SF (1.12/28 ACRES), IS SITUATED IN BLOCK A ON LOT 0087, AND CURRENTLY HAS 1 STRUCTURE OF 2 STOREYS FOR RESIDENTIAL USE. THE PROPERTY IS ZONED R-A. THE PROPERTY IS UNDEVELOPED BY OWNER. THE PROPERTY IS BOUNDED BY CONTEE MANOR RD TO THE WEST, THE EAST PARCEL 10 TO THE SOUTH, AND LOT 0086 TO THE NORTH.

EXISTING CONDITIONS PLAN NOTES

1. THIS EXISTING CONDITIONS PLAN IS NOT BASED ON A SURVEY. EXISTING CONDITIONS BASED ON PLAT #56 PREPARED BY DEMBERRY CONSULTANTS, LLC (F.B. #105-29, PG. 15), AERIAL PHOTOGRAPHY, PORTALS GIS DATA, AND THE JUDGEMENT OF THE ENGINEER.
2. THE EXISTING CONDITIONS LEGEND IS APPLICABLE TO THIS SHEET ONLY. THE EXISTING CONDITIONS MAY BE DEPICTED DIFFERENTLY (GRAY SCALED) OR NOT FULLY DEPICTED ON OTHER SHEETS.
3. THE LOCATIONS AND DEPTHS OF EXISTING UTILITIES ARE APPROXIMATE AND BASED ON AVAILABLE RECORDS AND, WHERE INFORMATION IS NOT AVAILABLE, ASSUMPTIONS. CONTRACTOR SHALL LOCATE AND CONFIRM ALL UTILITIES WITHIN THE BOUNDS OF CONSTRUCTION PRIOR TO UNDERTAKING ANY DEMOLITION OR EXCAVATION.

BAR SCALE
201612 R 4 C 10 20 40
1' = 20'

 HUSKA CONSULTING, LLC

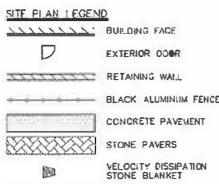
NOT FOR CONSTRUCTION
100% DEVELOPED
DESIGN
09/02/2021
DRAWING NO. CIV-100
DRAFTER

PROJECT
12903 CONTEE MANOR RD
DONALDSONVILLE
BLOCK A LOT 0087

ARCHITECT
ADVANCED HOUSEPLANS
1403 15TH ST
ELKHORN NE 68022
402.445.0489

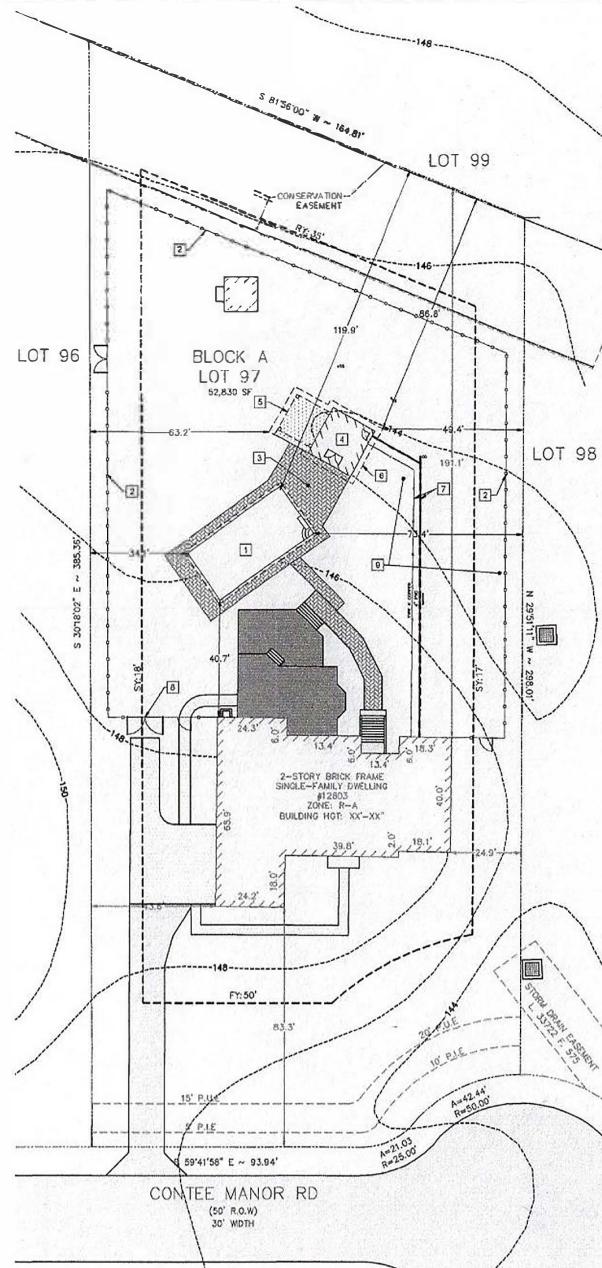
POOL CONTRACTOR
STEVENSON POOLS
1750 KNOB CREEK DR
COLUMBIA MD 21046
301.257.6512

CIVIL ENGINEER
PATRICK HORGAN
HUSKA CONSULTING, LLC
1050 15TH ST, 10TH FLOOR
WASHINGTON, DC 20007
703.253.5882



SITE PLAN KEYNOTES

- 1. IN-GROUND CONCRETE POOL, MAXIMUM DEPTH 9', APPROVED UNDER SEPARATE BUILDING PERMIT #JS187-2020-0.
- 2. 6-FT TALL BLACK ALUMINUM FENCE
- 3. 1,070 SF STONE PAVING PATIO AND WALKWAY TO EXISTING WOODEN DECK, APPROVED UNDER SEPARATE BUILDING PERMIT #JS187-2020-0.
- 4. 1-STORY WOOD FRAME POOL HOUSE WITH WATER AND SEWER SERVICE, HEIGHT: 16'-0"
- 5. A-FRAME WOOD ROOF COVERING CONCRETE PAID, SEE ARCHITECTURAL PLANS FOR MORE INFORMATION
- 6. 2-TT CAVC AROUND ALL SIDES
- 7. WATER AND SEWER SERVICE LATERALS APPROVE POOL HOUSE TIE-IN TO EXISTING DWELLING'S INTERNAL PLUMBING SIZE AND MATERIAL PR ARCHITECTURAL PLANS
- 8. 12'-FT WIDE VEHICULAR ACCESS GATE
- 9. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE FROM THE POOL HOUSE (UPHILL) TO THE EXISTING STORM INLET IN LOT 009 (DOWHILL).



BOARD OF APPEALS

APPROVED FEB 01 2022

ADMINISTRATOR

PROJECT
12603 CONTEE MANS.
BOWIE, MD 20721
BLOCK A LOT 0087

ARCHITECT
ADVANCED HOUSE

ELKHORN NE, 68022
402 445.0489

STEVENSON POLES
1925 NORFOLK DR.
OWINGS, MD 20738

CIVIL ENGINEER
PATRICK HORGAN
HUSKA CONSULTING

10

SITE PLAN NARRATIVE

A NEW IN-GROUND POOL, AND SURROUNDING STONE PATIO SHALL BE CONSTRUCTED UNDER THE PREVIOUSLY APPROVED BUILDING PERMIT #53187-2020-0. A NEW 1-STORY WOOD FRAME POOL HOUSE SHALL BE CONSTRUCTED IN THE REAR YARD ADJACENT TO THE PROPOSED POOL DECK. A NEW METAL FENCE PARALLEL TO THE PROPERTY LINE IN THE REAR YARD SHALL BE CONSTRUCTED.

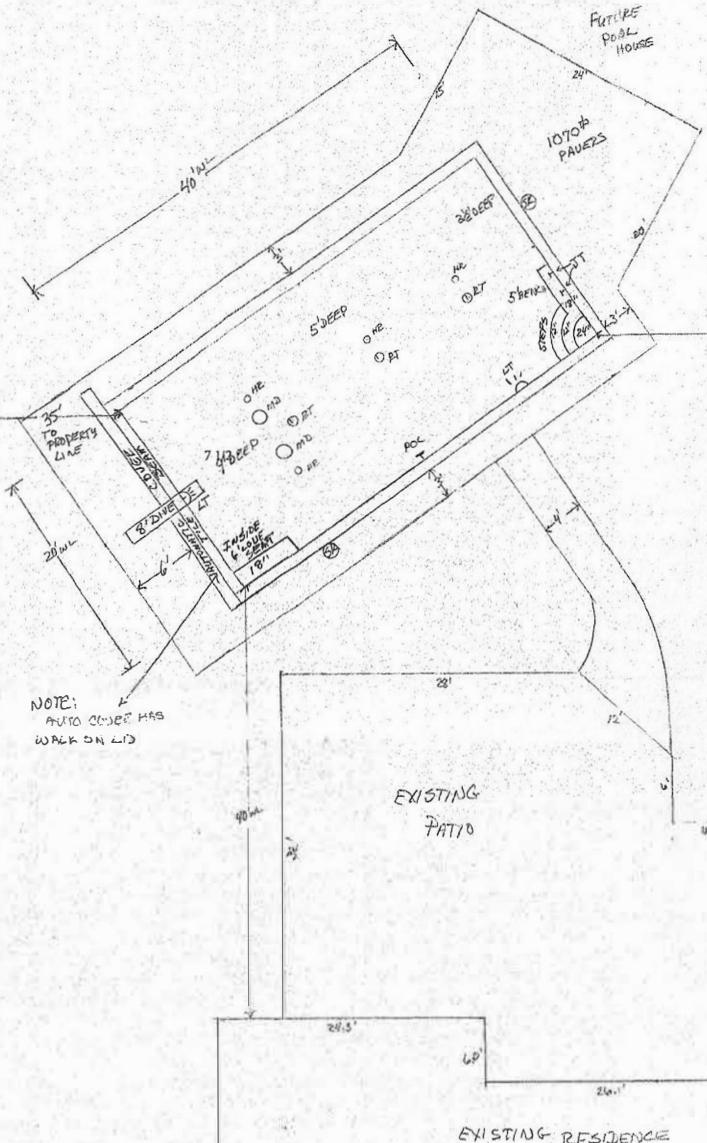
SITE PLAN NOTE

1. ALL EXISTING FEATURES ARE NOT NECESSARILY SHOWN ON THIS PLAN. SEE EXISTING CONDITIONS PLAN.
 2. THIS PLAN IS TO DEPICT WORK ON PRIVATE PROPERTY ONLY. ALL WORK SHOWN IN PUBLIC SPACE IS FOR INFORMATION PURPOSES ONLY. REFER TO THE PUBLIC-C SPACE SITE PLAN FOR WORK IN PUBLIC SPACE.
 3. SPOT SHOTS ARE SHOWN PURPOSEFULLY OFFSET 0.5' FROM THE SPOT DESCRIBED FOR VISUAL CLARITY. MOREOVER, SPOTS ARE ROUNDED TO THE NEAREST 5 HUNDREDS.
 4. REFER TO THE CIVIL COVER SHEET FOR ADDITIONAL INFORMATION.

A scale bar with markings at 0, 10, and 20.

三
80

BED FOR DIHS.	DEAL
CONSTRUCTION DEVELOPED SIGN 2/2022 1	SITE PLAN
	DRAWING TITLE CIV-200
	DRAWN BY NO.



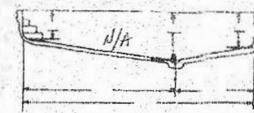
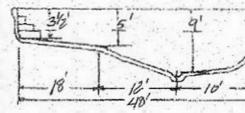
BOARD OF APPEALS

All references to a depth of 9 ft should be read as 7 1/2 ft

LEGEND

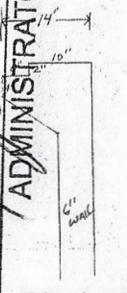
SK-SKIMMER
MD-MAIN DRAIN
PC-ZEEMEN
JT-JET
LT-LIGHT LED
POL-POLARIS
HR-HYDROSTATIC RELIEF

POOL PROFILE



APPROVED FEB 09 2022

John Stone
ADMINISTRATOR



(D)

GENERAL SPECIFICATIONS

SIZE 20x40' RET AUTO AREA 800 sf
DEPTH 7'6"-5'9" GALLONS 30,000
TYPE DECK PAVERS AREA 1070 sf
DRAINS 20' FEET
PERIMETER 120' TILE CHOICE OWNER
COPING PEBBLE COLOR/TYPE FULL COLOR
TREES _____ GRADEING _____

ELECTRICAL

HOOKUP _____
LENGTH OF ELEC. RUN _____
POOL LIGHT SIZE 2-LED
SPA LIGHT SIZE N/A
No electrical lights or other equipment allowed within 10' of pool

PLUMBING

SKIMMERS 2 RETURNS 3
OVERFLOW N/A FILLING N/A
HEATER GASLINE BY STEVENSON
EXTRAS 190' Natural Gas Hookup
BACKWASH LINE TO SURFACE
OF OWNER'S PROPERTY

EXISTING UTILITIES

ELECTRICAL GAS
SEWER WATER
PHONE CABLE T.V.
BAR B QUE SPRINKLER
MISC. _____

MISCELLANEOUS

FENCE REPAIR BY
NEW FENCE 170' BLACK
TYPE ALUMINUM HEIGHT 6'
POST GATES 1
EQUIPMENT SCREEN TYPE
RETAINER WALL TYPE HEIGHT
NOTE: _____

A CUSTOM SWIMMING POOL FOR
NAME ALAN & DENISE SHELTON
ADDRESS 12803 COATE MANOR RD.
TOWN BOWIE MD.
RES. PHONE 301-472-9818, BUS. _____
LOT 97 BLOCK _____
TRACT _____
OK'D BY _____ DATE 1/21
SALESMAN TOM LENNEY JOB #



Stevenson
POOLS
T/A Stevenson Const. Co., Inc.

1925 NORFOLK DRIVE
OWINGS, MARYLAND 20736

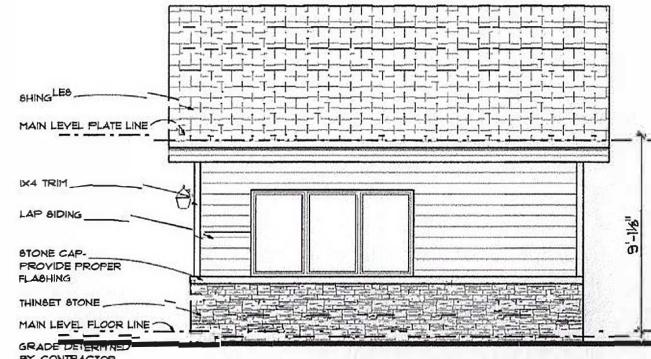
257-6512 • 855-6512

BOARD OF APPEALS

APPROVED FEB 09 2022

Administrator

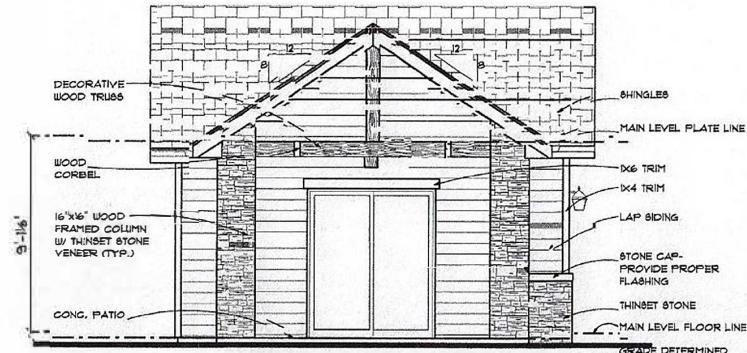
(c)



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

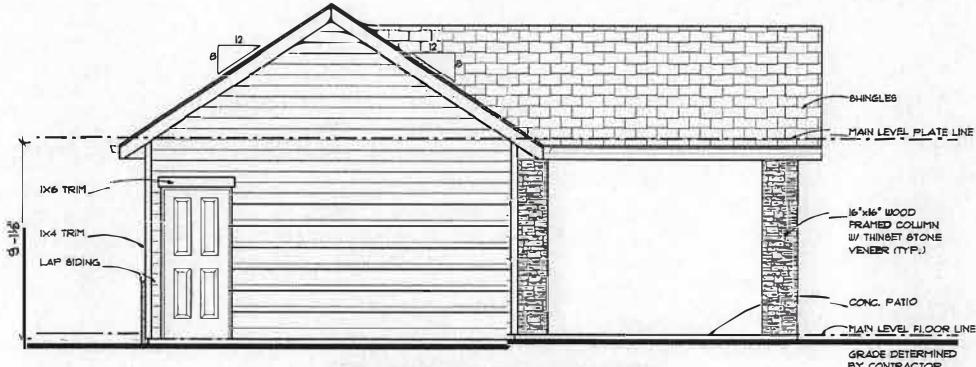
(a)



LEFT ELEVATION

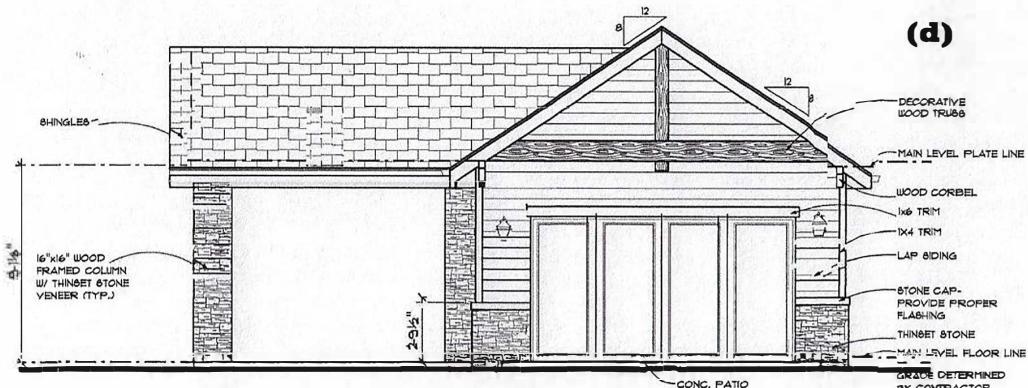
SCALE: 1/4" = 1'-0"

(b)



REAR ELEVATION

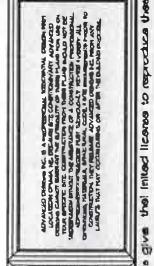
SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

EXH. # 21(a-y)
V-132-21



29432 2013



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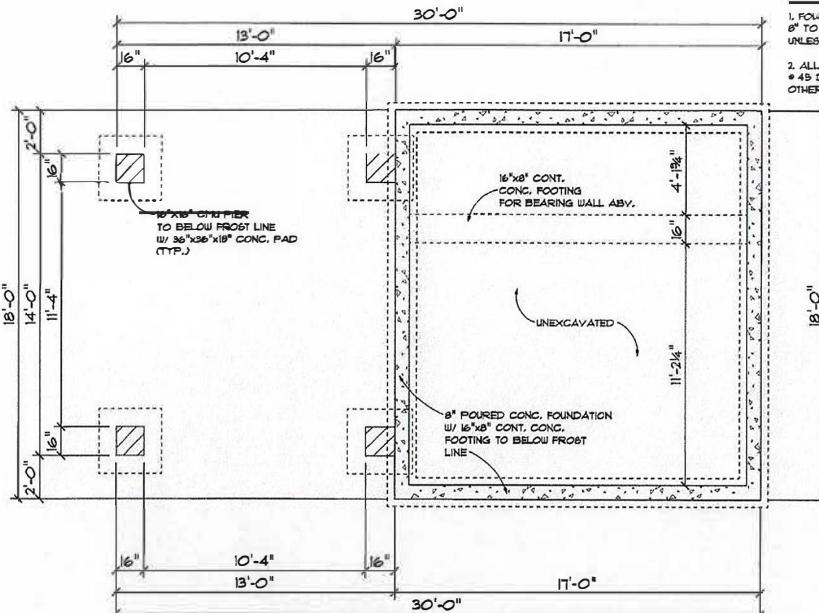
advancedhouseplans

29432° 2019

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GENERAL NOTES:
1. FOUNDATION WALL ARE
8" TO BELOW FROST LINE
UNLESS NOTED OTHERWISE.
2. ALL ANGLED WALLS ARE
45 DEG. UNLESS NOTED
OTHERWISE.

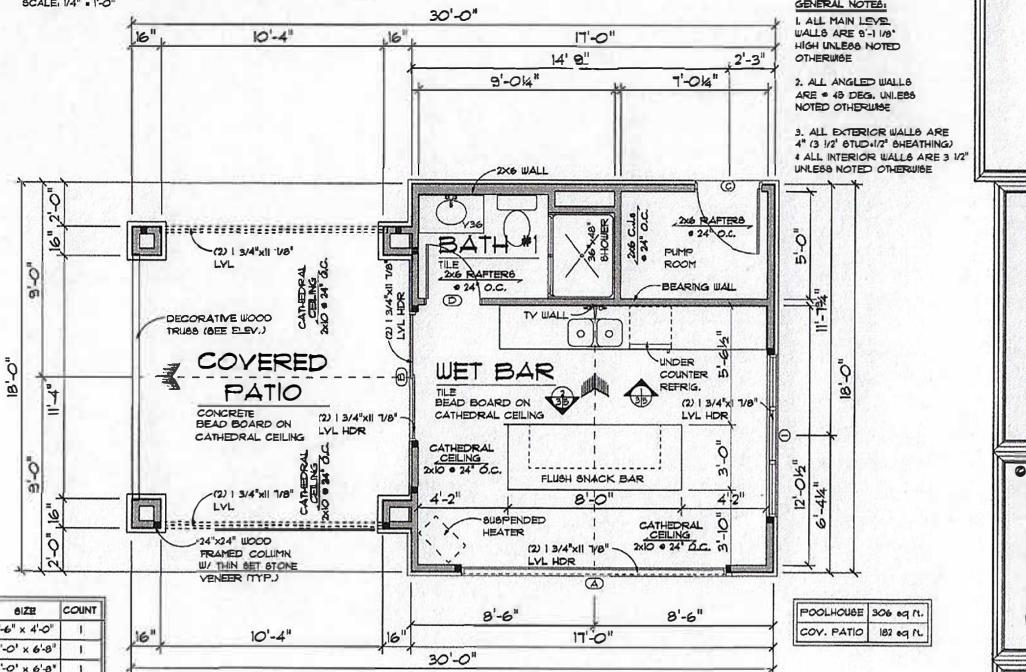
(e)



(g)

FOUNDATION PLAN

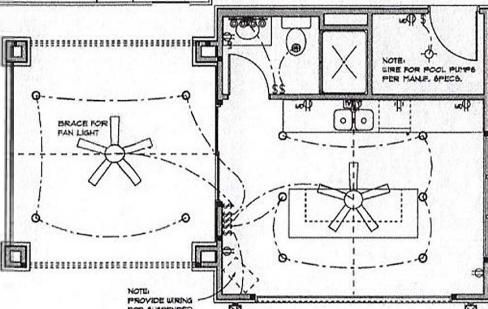
SCALE: 1/4" = 1'-0"



MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL	COUNT	SYMBOL
CEILING FAN BLADED 04	2	fan
CAN LIGHT 6IN	10	circle
EXTERIOR LIGHT G3	2	square with circle
FAN	1	fan
LIGHT	1	diamond
CABLE TV OUTLET	1	square with circle
OUTLET	4	circle
OUTLET SPK	4	circle with dot
SWITCH	8	square
WALL MOUNTED CO 4 LIGHTS	1	two circles



MAIN LEVEL ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"

OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
1	WINDOW	90X14 CABINET 3	1'-0" x 4'-0"	1
A	DOOR	14X80 GLASS	12'-0" x 6'-0"	1
B	DOOR	72X80 GLASS	6'-0" x 6'-0"	1
C	DOOR	36X80 EXTERIOR 1	3'-0" x 6'-0"	1
D	DOOR	30X80 1	2'-0" x 6'-0"	1

GENERAL NOTES:
1. FOUNDATION WALL ARE
8" TO BELOW FROST LINE
UNLESS NOTED OTHERWISE.
2. ALL ANGLED WALLS ARE
45 DEG. UNLESS NOTED
OTHERWISE.

GENERAL NOTES:
1. ALL MAIN LEVEL
WALLS ARE 8'-1 1/2"
HIGH UNLESS NOTED
OTHERWISE
2. ALL ANGLED WALLS
ARE 45 DEG. UNLESS
NOTED OTHERWISE
3. ALL EXTERIOR WALLS ARE
4' (3 1/2" STUD/17" SHEATHING)
4. ALL INTERIOR WALLS ARE 3 1/2"
UNLESS NOTED OTHERWISE

GENERAL NOTES:
1. ALL MAIN LEVEL
WALLS ARE 8'-1 1/2"
HIGH UNLESS NOTED
OTHERWISE
2. ALL ANGLED WALLS
ARE 45 DEG. UNLESS
NOTED OTHERWISE
3. ALL EXTERIOR WALLS ARE
4' (3 1/2" STUD/17" SHEATHING)
4. ALL INTERIOR WALLS ARE 3 1/2"
UNLESS NOTED OTHERWISE

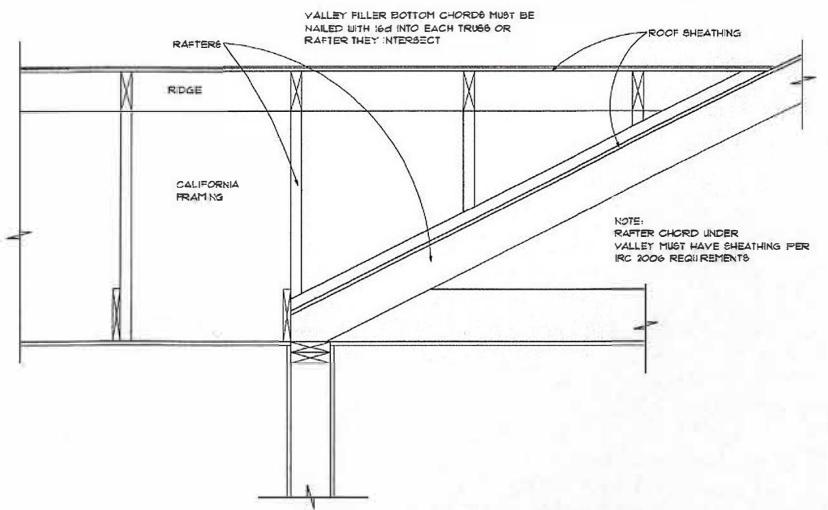
POOLHOUSE 306 sq ft
COV. PATIO 182 sq ft

MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

100% SCALE = 16'-0"

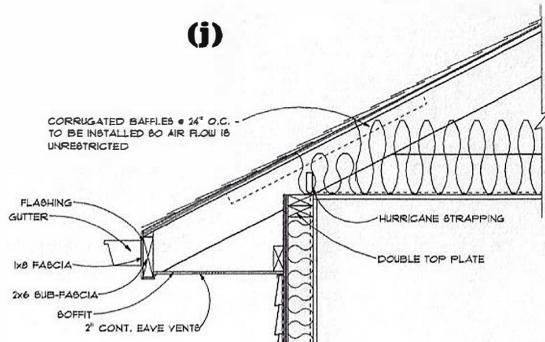
COMBINED 3/16" x 16'-0"



(h)

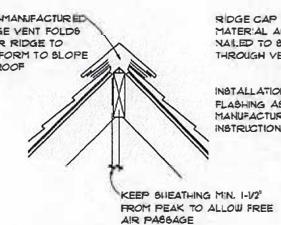
ROOF OVERFRAMING

SCALE: 1'-0"



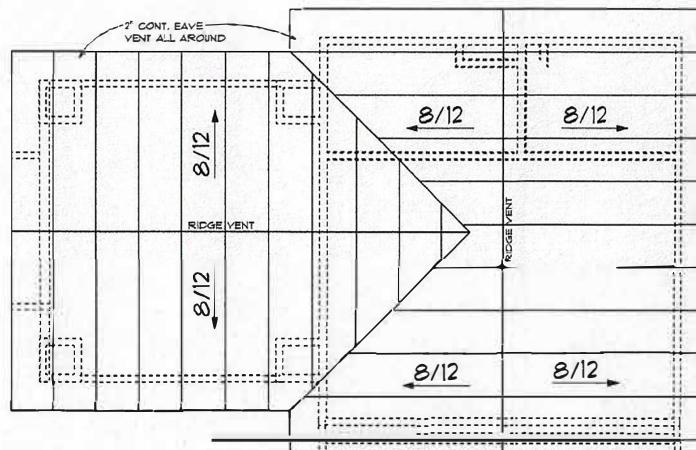
EAVE VENT

SCALE: 1'-0"



RIDGE VENT

SCALE: 1'-0"



ROOF PLAN

SCALE: 1/4" = 1'-0"

(k)

(l)

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B. J. Stover
ADMINISTRATOR

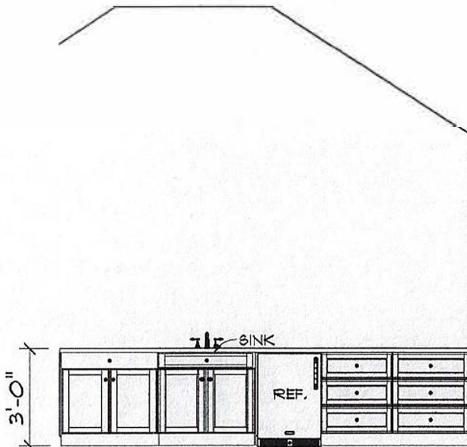


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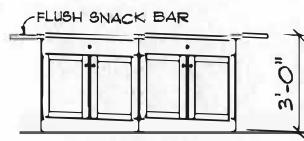
B. Stover
Administrator

(m)



DETAIL 1

(o)

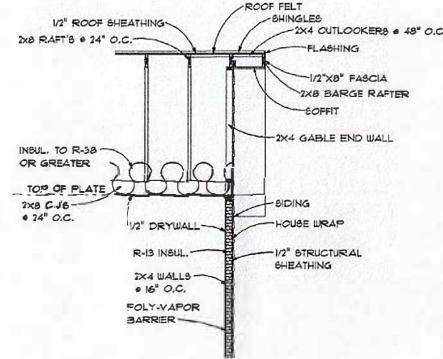


DETAIL 2

CABINET ELEVATIONS

SCALE: 3/8" = 1'-0"

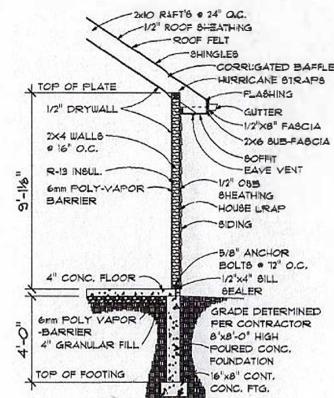
(n)



TYP. GABLE END SECTION

SCALE: 1/4" = 1'-0"

(p)

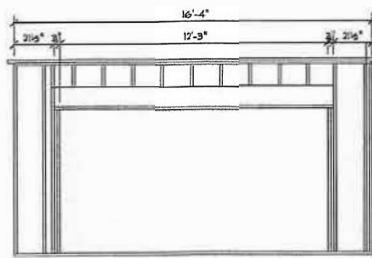


TYP. WALL SECTION

SCALE: 1/4" = 1'-0"

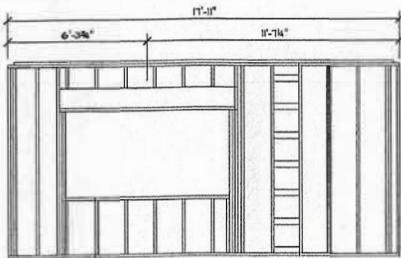


(q)



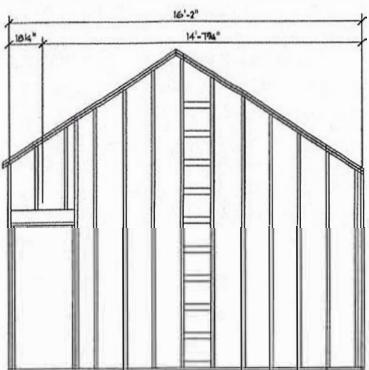
WALL NO. 1

(r)



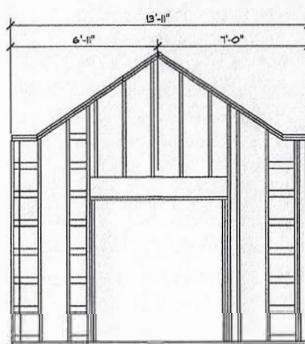
WALL NO. 2

(s)



WALL NO. 3

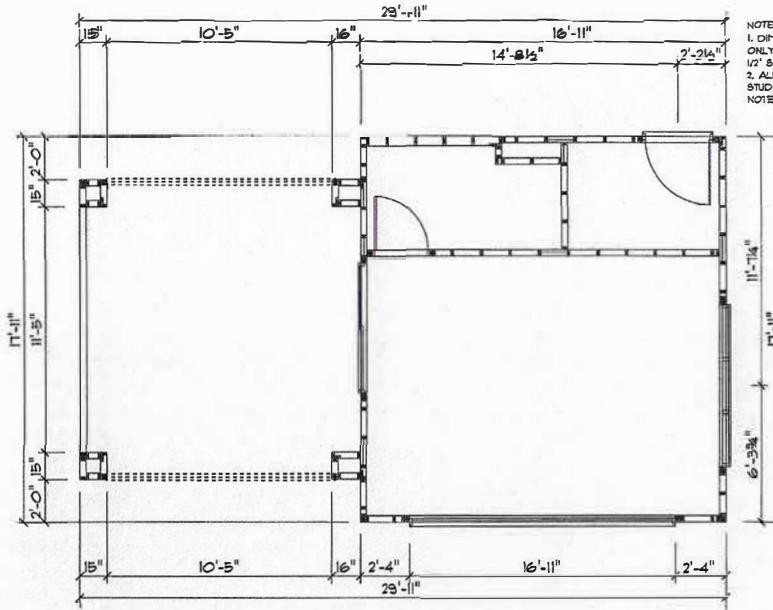
(t)



WALL NO. 4

WALL PANELS

SCALE: 1/4" = 1'-0"



MAIN LEVEL FRAMING PLAN

SCALE: 1/4" = 1'-0"

(x)

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FRAMING DIAGRAM

NOT TO SCALE

NOTE:
1. DIMENSIONS TO FRAMING ONLY - DOES NOT INCLUDE 1/2" SHEATHING.
2. ALL WALLS ARE 2X4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.

PRINTED FINAL 3-1-19 REVISED

GENERATED 4/20/2024

100% SCALE @ 16" x 24"