



THE PRINCE GEORGE'S COUNTY GOVERNMENT

BOARD OF ZONING APPEALS

BOARD OF ADMINISTRATIVE APPEALS

WAYNE K. CURRY COUNTY ADMINISTRATION BUILDING, LARGO, MARYLAND 20774
TELEPHONE (301) 952-3220

NOTICE OF FINAL DECISION

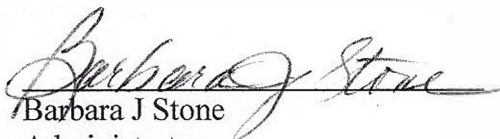
OF BOARD OF APPEALS

RE: Case No. V-132-21 Charles and Denise Shelton

Enclosed herewith is a copy of the Board Order setting forth the action taken by the Board of Appeals in your case on the following date: February 9, 2022.

CERTIFICATE OF SERVICE

This is to certify that on August 30, 2022, the above notice and attached Order of the Board were mailed, postage prepaid, to all persons of record.


Barbara J Stone
Administrator

cc: Petitioner
Adjoining Property Owners
M-NCPPC, Permit Review Section
DPIE/Building Code Official, Permitting

BEFORE THE BOARD OF APPEALS FOR PRINCE GEORGE'S COUNTY, MARYLAND
Sitting as the Board of Zoning Appeals

Petitioners: Charles and Denise Shelton

Appeal No.: V-132-21

Subject Property: Lot 97, Block A, Waterford-Plat 1 Subdivision, being the 12803 Contee Manor Road,
Bowie, Prince George's County, Maryland

Witness: Winston Cox, Assistant to Petitioners

Heard: January 12, 2022; Decided: February 9, 2022

Board Members Present and Voting: Bobbie S. Mack, Chairperson
Albert C. Scott, Vice Chairman
Anastasia T. Johnson, Member

RESOLUTION

This appeal is brought before the Board of Appeals, sitting as the Board of Zoning Appeals for the Maryland-Washington Regional District in Prince George's County, Maryland (the "Board"), requesting variances from the strict application of the provisions of Subtitle 27 of the Prince George's County Code (the "Zoning Ordinance").

In this appeal, a proceeding pursuant to Section 27-229 of the Zoning Ordinance, Petitioners request that the Board approve variances from Section 27-442(b)(Table I) which prescribes that each lot shall have a minimum net lot area of 87,120 feet. Section 27-442(c)(Table II) prescribes that not more than 10% of the net lot area shall be covered by buildings and off-street parking. Petitioners propose to validate an existing condition (net lot area) and obtain a permit building for the construction of a pool house. Variances of 34,290 square feet net lot area¹ and 1.6% net lot coverage are requested.

Evidence Presented

The following testimony and record evidence were considered by the Board:

1. The property was subdivided in 2006, contains 52,830 square feet, is zoned R-A (Residential Agricultural) and is improved with a single-family dwelling, driveway, deck, gazebo, shed and garage. Exhibit (Exhs.) 2, 4, 7, 8 and 9 (A) thru (G).
2. The subject property is located on a cul-de-sac and is irregular in shape as the front yard contours to the curve of the cul-de-sac. The rear yard property line is angled abutting a conservation easement. Exhs. 2, 4, 7, 8 and 9 (A) thru (G).
3. Petitioners propose to obtain a permit building for the construction of a pool house. A variance of 1.6% net lot coverage is required as the total lot coverage including the house, driveway, gazebo and proposed pool house exceeds the allowable 10% net lot coverage. Currently, the net lot coverage is at 11.6% requiring a variance of 1.6% net lot coverage. Exhs. 2, 4, 7, 8 and 9 (A) thru (G).
4. Waterford Mill Homeowners Association, Inc, has approved the requested proposal for the pool house. Exhs. 23 and 24.

¹ Preliminary Plan 04-24; File No. 4-03111 and 5-06070 allows Varying Lot Sizes within this development - The applicant is proposing to use varying lot sizes as permitted by the Prince George's County Zoning Ordinance. Unlike the provision for the use of Lot Size Averaging (R-55, R-80, R-R and R-E Zones), the use of varying lot sizes in the R-A and O-S Zones does not require specific findings for approval. Only the minimum standards outlined in the Zoning Ordinance must be met. 27-442 Footnote 5 allows the lot to be reduced to one acre (43,560 sq. ft). Therefore, a variance for net lot area is not required for the subject property.

5. Petitioner Charles Shelton testified that they would like a pool house in the back yard to allow their grandchildren and guests to be able to change clothes and use the restroom. Exhs. 2, 3 (a) thru (y) and 5 (A) thru (D).

6. Petitioner Denise Shelton opined that the pool house will not block the view of neighbors.

7. She stated that several other neighbors are also constructing pool houses and opined that the proposed pool house will not be out of character for the neighborhood.

8. She explained that they are active swimmers and uncomfortable in a public pool due to Covid. She stated that they want to make sure that the swimming area for family and friends is safe and self-contained. She stated that this is their retirement house and would like to enjoy the pool in their retirement years. Exhs. 2, 3 (a) thru (y) and 5 (A) thru (D).

Applicable Code Section and Authority

Section 27-230 of the Zoning Ordinance authorizes the Board to grant variances when, by reason of exceptional narrowness, shallowness, shape, topography, or other extraordinary situation or condition of specific parcels of property, the strict application of the Zoning Ordinance would result in peculiar and unusual practical difficulties or an exceptional or undue hardship upon the owner of the property, provided such relief can be granted without substantial impairment of the intent, purpose and integrity of the General Plan or Master Plan.

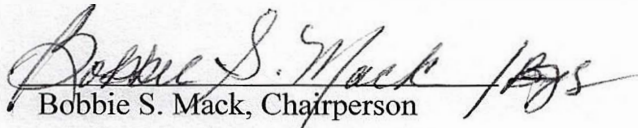
Findings of the Board

After hearing all the testimony and reviewing the evidence of record, the Board finds that the requested variances comply with the applicable standards set forth in Section 27-230, more specifically:

Due to the preexisting development, petitioners desire to utilize the proposed pool house for social and safe enjoyment of the swimming pool area for themselves, family and friends, the net lot variance is de minimis and the character of the neighborhood, granting the relief requested would not substantially impair the intent, purpose and integrity of the General Plan or Master Plan, and denying the request would result in a peculiar and unusual practical difficulty upon the owners of the property.

BE IT THEREFORE RESOLVED, unanimously, that a variance of 1.6% net lot coverage in order to validate an existing condition (net lot area) and obtain a permit building for the construction of a pool house on the property located at 12803 Contee Manor Road, Bowie, Prince George's County, Maryland, be and are hereby APPROVED. Approval of the variances are contingent upon development in compliance with the approved revised site plan, Exhibits 20 (A) thru (D) and approved revised elevation plans, Exhibits 21 (a) thru (y).

BOARD OF ZONING APPEALS

By: 
Bobbie S. Mack, Chairperson

NOTICE

Within thirty (30) days from the date of this decision, any person, firm, corporation, or governmental agency who was a party to the Board's proceedings and is aggrieved by its decision may file an appeal to the Circuit Court of Prince George's County.

Further, Section 27-233(a) of the Prince George's County Code states:

A decision of the Board, permitting the erection of a building or structure, shall not be valid for more than two (2) years, unless a building permit for the erection is obtained within this period and the construction is started and proceeds to completion in accordance with the terms of the decision and the permit.

GENERAL SITE CONSTRUCTION NOTES

- HUSKA CONSULTING, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY, ACCESSIBILITY OR SUPERVISION. HUSKA CONSULTING, LLC IS NOT RESPONSIBLE FOR ANY CONSTRUCTION DAMAGE OR INJURY TO ANY PERSON, VEHICLE, EQUIPMENT, OR PROPERTY ON OR NEAR THE CONSTRUCTION SITE.
- HUSKA CONSULTING, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SITE SECURITY. THE CONTRACTOR SHALL COORDINATE ALL TEMPORARY SITE SECURITY WITH THE OWNER AS REQUIRED AND APPROPRIATE.
- THE PROJECT PROPERTY SHALL BE VERIFIED BY A LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND REGARDING THE PROJECT BOUNDARY NOTIFY HUSKA CONSULTING, LLC.
- BEFORE COMMENCING CONSTRUCTION, CALL "811" UTILITY TO FIELD MARK UNDERGROUND UTILITIES. FOLLOW MISS UTILITY REQUIREMENTS. NO MECHANIZED EQUIPMENT MAY BE USED WITHIN 24 INCHES OF A GAS LINE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS WHICH ARE NOT PROVIDED WITH THE CONSTRUCTION DOCUMENTS. THIS INCLUDES ANY AND ALL DESIGN, PERMIT PROCESSING, INSPECTIONS, AND CLOSURES. ALL PERMITS MUST BE ONSITE, INCLUDING PUBLIC SPACE EXCAVATION, OCCUPANCY, AND TRAFFIC CONTROL PLANS IF AS REQUIRED.
- THE EXTENT OF EXISTING STRUCTURES INCLUDING UNDERGROUND FEATURES MAY NOT BE DEPICTED ON THE PLANS.
- THE CONTRACTOR MAY MAKE FIELD ADJUSTMENTS TO ACCOMMODATE EXISTING CONDITIONS IF AUTHORIZED BY THE CLIENT, THE CLIENT'S REPRESENTATIVE, OR HUSKA CONSULTING, LLC.
- ALL GENERAL NOTES ARE FOR TYPICAL CONSTRUCTION ACTIVITIES. THEY MAY INCLUDE INFORMATION THAT IS NOT APPLICABLE TO THE SCOPE OF THIS PROJECT.
- THE VARIOUS CODES AND STANDARDS WHICH ARE SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THEY DO NOT NECESSARILY REPRESENT THE MOST CURRENT OR COMPLETE STANDARDS REQUIRED FOR THE CONSTRUCTION. THE CONTRACTOR MUST REFER TO THE CORRECT APPLICABLE CODES AND STANDARDS.
- ACCESS TO THE PROJECT PROPERTY AND ALL SURROUNDING AREAS MUST BE MAINTAINED FOR ALL EMERGENCY SERVICES, PEDESTRIANS, AND DELIVERIES IF REQUIRED AND AS APPROPRIATE. ACCESS TO FIRE HYDRANTS MUST NOT BE IMPAIRED.
- THE CONTRACTOR SHALL RESTORE OR REPLACE ANY ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR MUST MAINTAIN A SET OF CONSTRUCTION PLANS WHICH HAVE BEEN MARKED UP TO CONSTRUCTION WHICH HAS DEVIATED FROM THE APPROVED CONSTRUCTION PLANS. THESE PLANS MUST BE PROVIDED TO THE CLIENT, THE CLIENT'S REPRESENTATIVE, OR HUSKA CONSULTING, LLC PRIOR TO THE PROJECT CLOSURE.

GENERAL PAVEMENT NOTES

- EXISTING PAVEMENT TO BE REPLACED SHALL AT MINIMUM MATCH THE EXISTING CROSS SECTION.
- EXISTING CURB AND/OR GUTTER TO BE REPLACED SHALL MATCH EXISTING TYPE, MATERIAL, AND DIMENSIONS.
- SHOULDER EXISTING ASPHALT PAVEMENT 1' FROM EDGE OF NEW CURB AND/OR GUTTER FOR REPLACEMENT.
- MILL AND OVERLAY EXISTING ASPHALT PAVEMENT 1' FROM EDGE OF NEW PAVEMENT TO PROVIDE SMOOTH TRANSITION.
- MILL AND OVERLAY EXISTING ASPHALT PAVEMENT 10' FROM EITHER SIDE OF UTILITY TRENCHES IN PUBLIC SPACE, EXTENDED TO THE FULL WIDTH OF ANY AFFECTED TRAVEL LANES.

GENERAL UTILITY NOTES

- THE CONSTRUCTION WORK SHALL BE COMPLETED IN SUCH A WAY AS TO MINIMIZE UTILITY OUTAGES. ALL UTILITY OUTAGES MUST BE COORDINATED WITH THE UTILITY OWNER AND AFFECTED PARTIES.
- SOME EXISTING UTILITIES MAY NOT BE SHOWN ON THE PLANS. BEFORE BEGINNING CONSTRUCTION, VERIFY THERE ARE NO CONFLICTS WITH EXISTING UTILITIES. TEST PIT AS REQUIRED TO DETERMINE LOCATIONS AND DEPTHS OF EXISTING UTILITIES WITHIN THE CONSTRUCTION WORK AREA. IF ANY EXISTING UTILITIES ARE FOUND WHICH ARE NOT DEPICTED IN THE EXISTING CONDITIONS PLAN OR CONFLICT WITH THE PROPOSED WORK NOTIFY HUSKA CONSULTING, LLC.
- NOTIFY HUSKA CONSULTING, LLC IF COVER FOR ANY UTILITY IS REDUCED BELOW THE MINIMUM REQUIRED.
- THE SITE CIVIL PLAN IS MEANT TO CONVEY "AS-BUILT" (SANITARY SEWER, STORM SEWER, AND WATER) UTILITY WORK, ALL DRY (ELECTRIC, NATURAL GAS, TELECOMMUNICATIONS) UTILITY WORK SHOWN IS FOR INFORMATION AND REFERENCE ONLY. REFER TO THE DRY UTILITY AND/OR MEP PLANS FOR DRY UTILITY WORK.
- REFER TO VSSC STANDARDS FOR ABANDONMENT OF EXISTING SANITARY SEWER AND WATER LATERALS AND MAINS. NOTE THE REQUIRED VSSC DISCONNECTING ALL LATERALS AT THE MAINS, PLUGGING AND SEALING THE MAINS, AND REMOVING ALL ABANDONED METERS, VALVES, AND APPURTENANCES. COORDINATE WITH THE DRY WATER INSPECTOR.
- ALL WYE CONNECTIONS TO EXISTING SEWER LINES SHALL MATCH THE EXISTING SIZE AND MATERIAL.
- ALL WATER SERVICE LATERAL TEES SHALL BE PROVIDED WITH A VALVE LOCATED AS CLOSE TO THE MAIN AS POSSIBLE. IF NECESSARY, QUOTE TO FIELD CONDITIONS AND CONFLICTS WITH OTHER UTILITIES. IN COORDINATION WITH THE VSSC WATER INSPECTOR, A DWP VALVE, SEE DRAWING C110 MAY BE USED.
- REFER TO VSSC WATER ST AND ADRG AND SPECIFICATIONS FOR WATER PIPE MATERIAL. ALL WATER LINES 2" IN DIAMETER AND SMALLER SHALL BE TYPE K COMPACT AND ALL WATER LINES 3" AND LARGER SHALL BE DUCTILE IRON PIPE WITH RESTRAINED JOINTS AND FITTINGS.
- BACKFLOW PREVENTION VALVES FOR ALL CONNECTIONS TO FIRE SUPPRESSION SYSTEMS, FIRE HYDRANT METERS, IRRIGATION SYSTEMS, AND COMMERCIAL AND INDUSTRIAL SYSTEMS SHALL BE PROVIDED.
- REMOVE ABANDONED UTILITIES AS REQUIRED.
- ADJUST EXISTING STRUCTURE TOPS AND MANHOLES TO REMAIN WITHIN THE LIMITS OF DISTURBANCE TO MATCH FINAL GRADE AS REQUIRED. INSTALL ADDITIONAL STEPS WITHIN MANHOLES AS REQUIRED.
- REFER TO THE VSSC GENERAL UTILITY NOTES AND UTILITY DETAILS FOR ADDITIONAL INFORMATION.
- ALL EXCAVATION WITHIN 2' OF A GAS LINE MUST BE DONE BY HAND.

GENERAL GRADING NOTES

- THE SITE MUST BE GRADED AND PAVED SO THAT NO NEW LOW POINTS WITHOUT PROPER DRAINAGE ARE CREATED. NO POVING SHALL OCCUR ON SITE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE STORMWATER MANAGEMENT PLANS WITHIN BMP FACILITIES OR ON THE SEDIMENT CONTROL PLAN WITHIN SEDIMENT TRAPS OR BASINS.
- ALL PAVED SURFACES SHALL BE AT A 0.5% MINIMUM SLOPE AND ALL GRASSY AND LANDSCAPED AREAS SHALL BE AT A 2.5% MINIMUM SLOPE TO FACILITATE PROPER DRAINAGE AND ELIMINATE STANDING WATER.
- SPOT ELEVATIONS SHOWN AT THE IN POINTS WITH EXISTING SURFACES ARE SHOWN APPROXIMATE, AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR. PROPOSED ELEVATIONS MAY BE MODIFIED WITH APPROVAL FROM HUSKA CONSULTING, LLC TO MATCH EXISTING GRADE.
- LANDINGS AT LEAST 6 FEET BY 6 FEET MUST BE PROVIDED AT ALL EXTERIOR DOORS WITH A SLOPE LESS THAN 2% IN ANY DIRECTION.
- ANY UNSATURATED SOIL OR MATERIAL MUST BE REMOVED OR REMEDIATED PER DIRECTION FROM THE GEOTECHNICAL ENGINEER.
- REFER TO THE SITE NOTES AND DETAILS FOR ADDITIONAL INFORMATION.

GENERAL SITE DEMOLITION NOTES

- THE CONTRACTOR MUST OBTAIN A RAZE PERMIT TO DEMOLISH ANY STRUCTURE.
- REFER TO THE ARCHITECTURAL PLANS FOR SELECTIVE DEMOLITION RELATED TO INTERIOR RENOVATIONS. COORDINATE WITH THE DESIGN TEAM INCLUDING THE STRUCTURAL ENGINEER, IN REGARD TO THE STABILITY OF EXISTING STRUCTURES TO REMAIN.
- THE APPROXIMATE SCALE OF ABANDONMENT AND DEMOLITION FEATURES AND UTILITIES ARE DEPICTED BOLD OR HATCHED ON THE DEMOLITION PLAN.
- DEMOLITION OF SITE FEATURES AND UTILITIES TO REPLACE ITEMS IN KIND ARE NOT NECESSARILY SHOWN BUT ARE WITHIN THE SCOPE OF WORK.
- SHOULDER EXISTING PAVEMENT TO BE REMOVED WHERE ADJACENT TO EXISTING PAVEMENT TO REHABILITATE FOR CONCRETE AND GRASS. SHOULDER AT THE NEAREST JOINT.
- ALL DEMOLITION DEBRIS MUST BE DISPOSED PER APPLICABLE LAW. DEMOLITION DEBRIS MAY ONLY BE USED FOR BACKFILL EXPRESS KNOWLEDGE AND PERMISSION IS GRANTED FROM THE STRUCTURAL AND GEOTECHNICAL ENGINEERS.

PRINCE GEORGE'S COUNTY PERMIT REVIEW AGENCIES

DEPARTMENT OF PERMITTING, INSPECTIONS, AND ENFORCEMENT (DPIE)	DEPARTMENT OF THE ENVIRONMENT (DOE)
6400 REPPER CORN PL LARGO, MD 20774 (301) 836-2000	1501 MCCORMICK DR SUITE 300 LARGO, MD 20774 (301) 983-6610
WASHINGTON SUBURBAN SANITARY COMMISSION (WSSC) 14501 SWINSTER LN LAUREL, MD 20707 (301) 256-5000	MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION (MNCPPC) 661 KENILWORTH AVE HYATTSVILLE, MD 20713 (301) 599-2255
PRINCE GEORGE'S SOIL CONSERVATION DISTRICT (PGSD) 5301 MARLBORO RACE TRACK RD SUITE 100 UPPER MARLBORO, MD 20772 (301) 574-5182	MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION (MDOTSHA) 707 N CALVERT ST BALTIMORE, MD 21202 (410) 545-0000

ABBREVIATIONS

ABND	ABANDONED	MEP	MECHANICAL
AD	AREA DRAIN		ELECTRICAL/PLUMBING
ADA	AMERICANS WITH DISABILITIES ACT	KH	MANHOLE
APPROX	APPROXIMATE	MIN	MINIMUM
BFP	BACKFLOW PREVENTER	OC	ON CENTER
BLOD	BUILDING	PG	PRINCE GEORGE'S
BRL	BUILDING RESTRICTION	PROP	PROPOSED
BSMT	BASEMENT	SAH	SAVATARY
BW	BOTTOM OF WALL	SCH	SCHEDULE
CJ	CAST IRON	STU	STORM
CO	CLEANOUT	SWR	SEWER
CS	COMBINED SEWER	TC	TOP OF CURB
ELEV	ELEVATION	TW	TOP OF WALL
EX	EXISTING	V8	VERTICAL BEND
FFE	FIRST FLOOR ELEVATION	WCP	WATERED CLAY PIPE
HZ	HORIZONTAL	WTH	WITH
MAX	MAXIMUM	WTR	WATERMAIN
		WV	WINDO/WALL

BOARD OF APPEALS

APPROVED FEB 09 2022

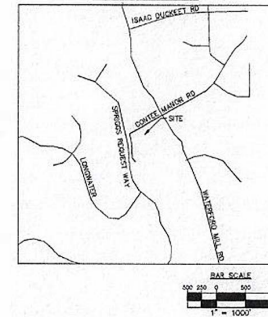
ADMINISTRATOR

SITE PLAN FOR PROJECT

LOCATION OF SITE
12800 CONTEE MANOR RD
LOT 0029, BLOCK A, TAX PARCEL #C7-37524D,
CHARLES & CONTEE SHELTON, LITER 3754D AND FQMD 00527

SITE CIVIL ENGINEERING SHEET INDEX	
SHEET TITLE	SHEET #
COVER AND GENERAL NOTES SHEET	CIV-000
EXISTING CONDITIONS	CIV-100
SITE PLAN	CIV-200

VICINITY MAP



COMPREHENSIVE PROJECT NARRATIVE

THE PROPERTY IS 58,830 SF (1.218 ACRES), IS SITUATED IN BLOCK A ON LOT 0029, AND CURRENTLY HAS 1 STRUCTURE OF 2 STORIES FOR RESIDENTIAL USE. THE PROPERTY IS ZONED R-1. THE PROPERTY IS GENERALLY BOUNDED BY CONTEE MANOR RD TO THE NORTH, LOT 0026 TO THE EAST, PARCEL 10 TO THE SOUTH, AND LOT 0028 TO THE WEST.

A NEW IN-GROUND POOL, AND SURROUNDING STONE PATIO SHALL BE CONSTRUCTED UNDER THE PREVIOUSLY APPROVED BUILDING PERMIT #B3187-2020-0. A NEW 1-STORY WOOD FRAME POOL HOUSE SHALL BE CONSTRUCTED IN THE REAR YARD ADJACENT TO THE PROPOSED POOL DECK. A NEW METAL FENCE PARALLEL TO THE PROPERTY LINES IN THE REAR YARD SHALL BE CONSTRUCTED.

(A)

FOR 20(A-D)
V-132-21

HUSKA CONSULTING, LLC

NOT FOR CONSTRUCTION
100% DEVELOPED
DESIGN
09/03/2021

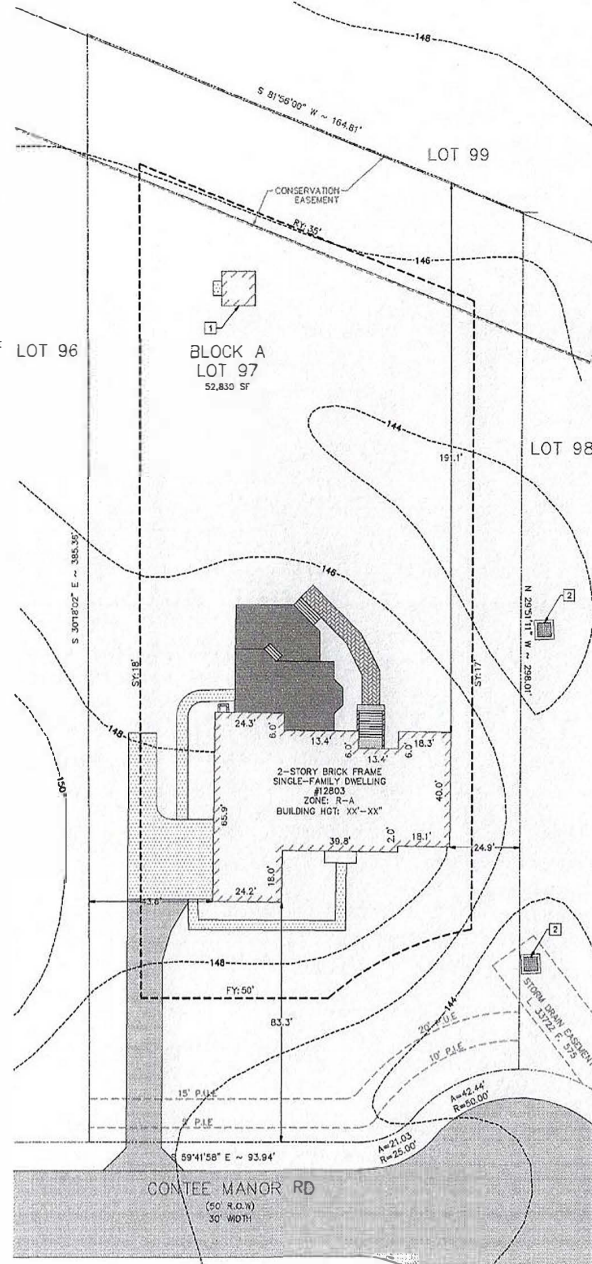
COVER AND GENERAL NOTES SHEET
CIV-000

EXISTING CONDITIONS PLAN LEGEND

	PROPERTY LINE		GAS LINE
	ADJACENT PROPERTY LINE		GAS METER
	BUILDING FACE		OVERHEAD UTILITY
	DOOR		12" CS SEWER
	WALL		12" SAN SEWER
	WOOD FENCE		12" STM SEWER
	IRON FENCE		COMBINED/SANITARY MANHOLE
	HANDRAIL		STORM SEWER MANHOLE
	CURB AND GUTTER		STORM DRAIN
	BOLLARD		CLEANOUT
	ASPHALT PAVEMENT		DOWNSPOUT
	STONE PAVERS		TELECOMMUNICATIONS
	CONCRETE PAVEMENT		TELECOMMUNICATIONS MAN HOLE
	WOOD/LUMBER DECK		LIGHT POLE/STREET LIGHT
	SPOT ELEVATION		UTILITY POLE
	CONTOUR		GUY WIRE
	TREE W/ CRZ & SRZ		WATER LINE
	TRAFFIC SIGN		FIRE HYDRANT
	ELECTRIC LINE		FIRE DEPT. CONN.
	ELECTRIC MANHOLE		WATER METER
	ELECTRIC METER		WATER VALVE
	ELECTRIC VAULT		SURVEY TRAVERSE
			BOUNDARY MONUMENT

EXISTING CONDITIONS PLAN KEYNOTES

- EXISTING 12'X12' WOOD SHED
- EXISTING YARD IN-LET, OUTLET PIPE ALIGNMENT, SIZE, AND SLOPE UNKNOWN



BOARD OF APPEALS

APPROVED FEB 09 2022

ADMINISTRATOR

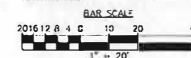
(B)

EXISTING CONDITIONS PLAN NARRATIVE

THE PROPERTY IS 52,830 SF (1.2128 ACRES), IS SITUATED IN BLOCK A ON LOT 0087, AND CURRENTLY HAS 1 STRUCTURE OF 2 STORIES FOR RESIDENTIAL USE. THE PROPERTY IS ZONED R-A. THE PROPERTY IS GENERALLY BOUNDED BY CONTEE MANOR RD TO THE NORTH, LOT 0086 TO THE EAST, PARCEL 10 TO THE SOUTH, AND LOT 0098 TO THE WEST.

EXISTING CONDITIONS PLAN NOTES

- THIS EXISTING CONDITIONS PLAN IS NOT BASED ON A SURVEY. EXISTING CONDITIONS BASED ON PLAT #26 PREPARED BY DEWBERRY CONSULTANTS, LLC (P.B. #101-22, PG. 15). AERIAL PHOTOGRAPHY, PG&LAS QS DATA, AND THE JUDGEMENT OF THE ENGINEER.
- THE EXISTING CONDITIONS LEGEND IS APPLICABLE TO THIS SHEET ONLY. THE EXISTING CONDITIONS MAY BE DEPICTED DIFFERENTLY (GRAY SCALED) OR NOT FULLY DEPICTED ON OTHER SHEETS.
- THE LOCATIONS AND DEPTHS OF EXISTING UTILITIES ARE APPROXIMATE AND BASED ON AVAILABLE RECORDS AND, WHERE INFORMATION IS NOT AVAILABLE, ASSUMPTIONS. CONTRACTOR SHALL LOCATE AND CONFIRM ALL UTILITIES WITHIN THE BOUNDS OF CONSTRUCTION PRIOR TO UNDERTAKING ANY DEMOLITION OR EXCAVATION.



11 HUSKA CONSULTING, LLC

NOT FOR CONSTRUCTION
100% DEVELOPED
DESIGN
05/02/2021

PROJECT
12093 CONTEE MANOR RD
BOWNE, MO 65021
BLOCK A LOT 0087

ARCHITECT
ADVANCED HOUSEPLANS
1405 N 20TH ST
BLOOMINGTON, MO 64602
417.453.6668

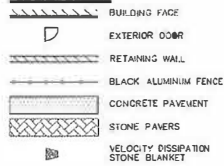
POOL CONTRACTOR
STEVENSON POOLS
1825 HARBORVIEW DR
OWENSBORO, KY 40256
502.257.8512

CIVIL ENGINEER
PATRICK HORGAN
HUSKA CONSULTING, LLC
1050 37TH STREET, NW
WASHINGTON, DC 20007
202.435.3862

EXISTING
CONDITIONS

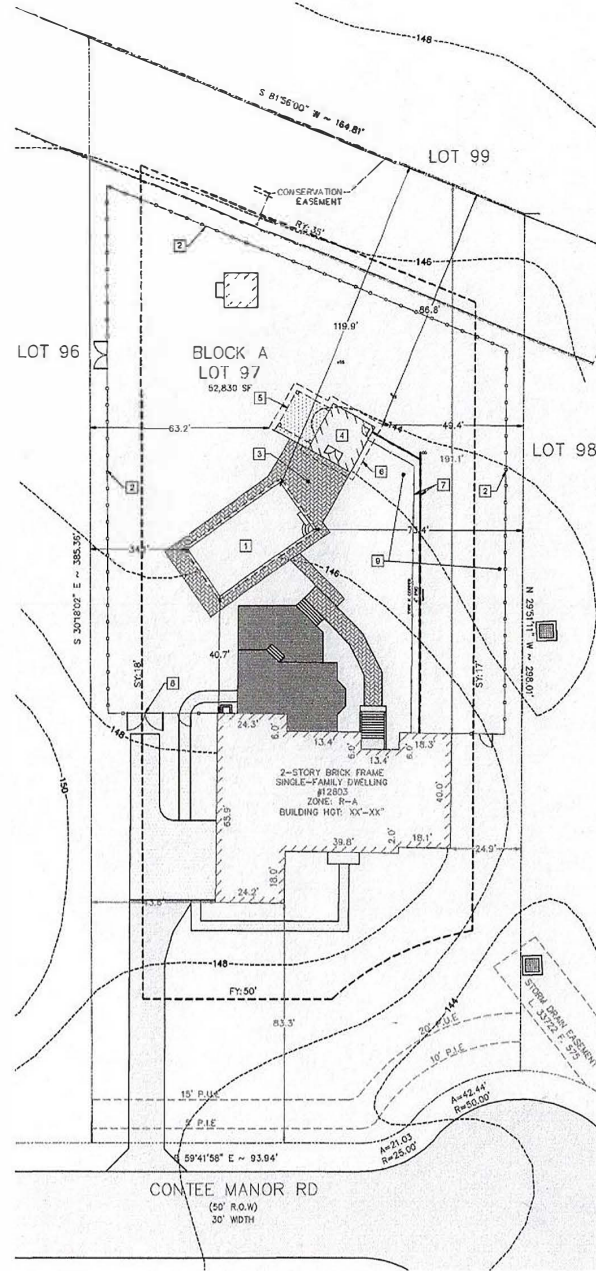
CIV-100

SITE PLAN LEGEND



SITE PLAN KEYNOTES

- 1 IN-GROUND CONCRETE POOL, MAXIMUM DEPTH 9', APPROVED UNDER SEPARATE BUILDING PERMIT #53187-2020-0.
- 2 6-FT TALL BLACK ALUMINUM FENCE
- 3 1,070 SF STONE PAVEMENT PATIO AND WALKWAY TO EXISTING WOODEN DECK, APPROVED UNDER SEPARATE BUILDING PERMIT #53187-2020-0.
- 4 1-STORY WOOD FRAME POOL HOUSE WITH WATER AND SEWER SERVICE BUILDING HEIGHT: 16'-0"
- 5 A-FRAME WOOD ROOF COVERING CONCRETE PATIO, SEE ARCHITECTURAL PLANS FOR MORE INFORMATION
- 6 2-FT C&G AROUND ALL SIDES
- 7 WATER AND SEWER SERVICE LATERALS SERVING POOL HOUSE TIE-IN TO EXISTING DWELLING'S INTERNAL PLUMBING SIZE AND MATERIAL TO ARCHITECTURAL PLANS
- 8 12-FT WIDE VEHICULAR ACCESS GATE
- 9 CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE FROM THE POOL HOUSE (UPHILL) TO THE EXISTING STORM INLET IN LOT 098 (DOWNHILL).



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ADMINISTRATOR

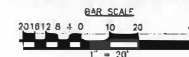
(C)

SITE PLAN NARRATIVE

A NEW IN-GROUND POOL AND SURROUNDING STONE PATIO SHALL BE CONSTRUCTED UNDER THE PREVIOUSLY APPROVED BUILDING PERMIT #53187-2020-0. A NEW 1-STORY WOOD FRAME POOL HOUSE SHALL BE CONSTRUCTED IN THE REAR YARD ADJACENT TO THE PROPOSED POOL DECK. A NEW METAL FENCE PARALLEL TO THE PROPERTY LINES IN THE REAR YARD SHALL BE CONSTRUCTED.

SITE PLAN NOTES

1. ALL EXISTING FEATURES ARE NOT NECESSARILY SHOWN ON THIS PLAN. SEE EXISTING CONDITIONS PLAN.
2. THIS PLAN IS TO DEPICT WORK ON PRIVATE PROPERTY ONLY. ALL WORK SHOWN IN PUBLIC SPACE IS FOR INFORMATION PURPOSES ONLY. REFER TO THE PUBLIC SPACE SITE PLAN FOR WORK IN PUBLIC SPACE.
3. SPOT SHOTS ARE SHOWN PURPOSEFULLY OFFSET 0.5' FROM THE SPOT DESCRIBED FOR VISUAL CLARITY. HOWEVER, SPOTS ARE ROUNDED TO THE NEAREST 5 HUNDREDTHS.
4. REFER TO THE CIVIL COVER SHEET FOR ADDITIONAL INFORMATION.



NOT FOR CONSTRUCTION
100% DEVELOPED
DESIGN
06/02/22 1

PROJECT
12803 CONTEE MANOR RD
BOWME, MD 20721
BLOCK A LOT 0087

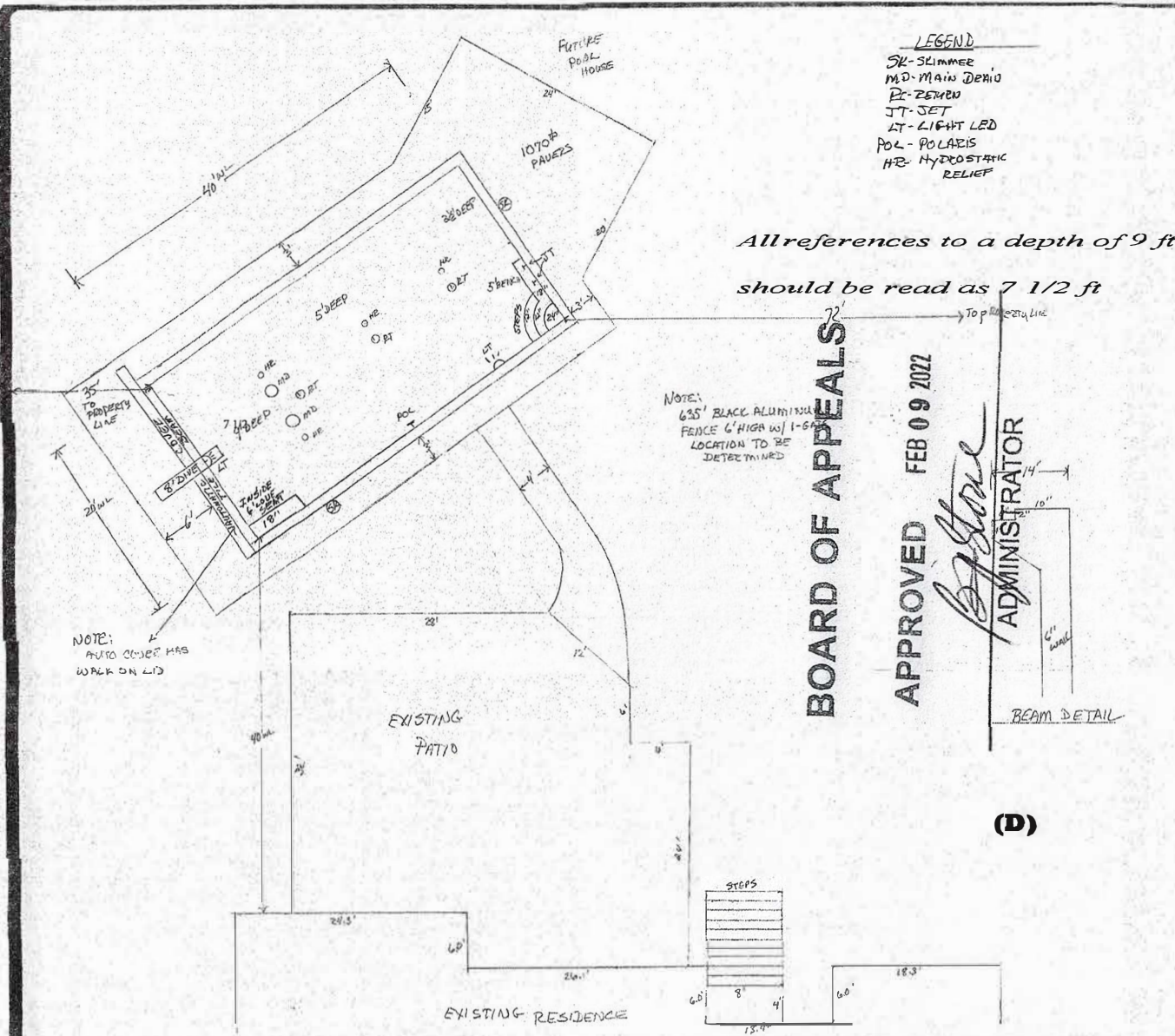
ARCHITECT
ADVANCED HOUSEPLANS
1808 N 2030 ST
ELKHORN, NE, 68022
402.445.0489

POOL CONTRACTOR
STEVENSON POOLS
1923 NORFOLK DR
CHANDLER, MD 20736
301.257.8512

CIVIL ENGINEER
PATRICK HORDAN
HUSKA CONSULTING, LLC
1050 30TH STREET, NW
WASHINGTON, DC 20007
703.486.5882

SITE PLAN

CIV-200



LEGEND
 SK - SKIMMER
 MD - MAIN DRAIN
 P - PUMP
 JT - JET
 LT - LIGHT LED
 POL - POLARIS
 HR - HYDROSTATIC RELIEF

All references to a depth of 9 ft should be read as 7 1/2 ft

BOARD OF APPEALS

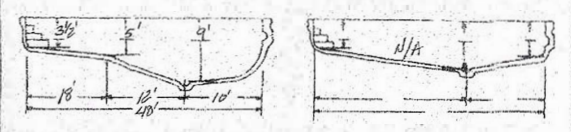
APPROVED FEB 09 2012

ADMINISTRATOR

(D)

BEAM DETAIL

POOL PROFILE



GENERAL SPECIFICATIONS

SIZE 38'-5" x 17'-0" AREA 800^{sq} ft
 DEPTH 38'-5" x 9" GALLONS 30,000
 TYPE DECK PAVERS AREA 1070^{sq} ft
 DRAINAGE _____ FEET _____
 PERIMETER 120' TILE CHOICE OWNER
 COPING PAVER COLOR/TYPE Full Color
 TREES _____ GRADING _____

EQUIPMENT

FILTER SANDY DEV SIZE 48"
 PUMP SANDY PRO PRO H.P. 1
 HEATER SANDY NAT GAS SIZE 80V
 COVER TYPE AUTOMATIC W/ WALK ON LID
 DIVING BOARD FIBERGLASS SIZE 8'
 SLIDE N/A TYPE N/A
 POOL CLEANER POLARIS P3S F
 TIME CLOCK INCLUDED
 AUTOMATIC CONTROL N/A
 CHLORINATOR TRICHO CLOR SALT
 MAINTENANCE EQPT. COMPLETE
 MISC. _____
 MISC. _____

SPA
N/A

HYDROTHERAPY JETS _____ NO. _____
 SAFETY DRAINS _____ AMOUNT _____
 FOUNTAIN _____
 BOOSTER PUMP _____
 BLOWER SWITCH AT HOUSE _____
 REMOTE SWITCH _____

ELECTRICAL

HOOKEUP _____
 LENGTH OF ELEC. RUN _____
 POOL LIGHT SIZE 2-LED
 SPA LIGHT SIZE N/A
 NEARBY ELECTRICAL LIGHTS OR PLUGS ARE ALLOWED WITHIN 10' OF POOL

PLUMBING

SKIMMERS 2 RETURNS 3
 OVERFLOW N/A FILL LINE N/A
 HEATER GAS LINE BY: STEVENSON
 EXTRAS 170' NATURAL GAS HOSE
 BACKWASH LINE TO SURFACE
 OF OWNER'S PROPERTY

EXISTING UTILITIES

ELECTRICAL _____ GAS _____
 SEWER _____ WATER _____
 PHONE _____ CABLE TV _____
 BAR B QUE _____ SPRINKLER _____
 MISC. _____

MISCELLANEOUS

FENCE REPAIR BY _____
 NEW FENCE 170' BLACK
 TYPE ALUMINUM HEIGHT 6'
 POST _____ GATES 2
 EQUIPMENT SCREEN _____ TYPE _____
 RETAINER WALL _____
 TYPE _____ HEIGHT _____
 NOTE: _____

SCALE 1/8" = 1'0"

Well down shotcrete at least twice daily for seven days. Do not turn on pool lights when pool is empty.



**Stevenson
 POOLS**

T/A Stevenson Const. Co., Inc.

1925 NORFOLK DRIVE
 OWINGS, MARYLAND 20736

257-6512 • 855-6512

A CUSTOM SWIMMING POOL FOR

NAME ALAN & DENISE SHELTON

ADDRESS 12903 CONTE MINOR RD.

TOWN Bowie MD.

RES. PHONE 202-492-9888 BUS. _____

LOT 97 BLOCK _____

TRACT _____

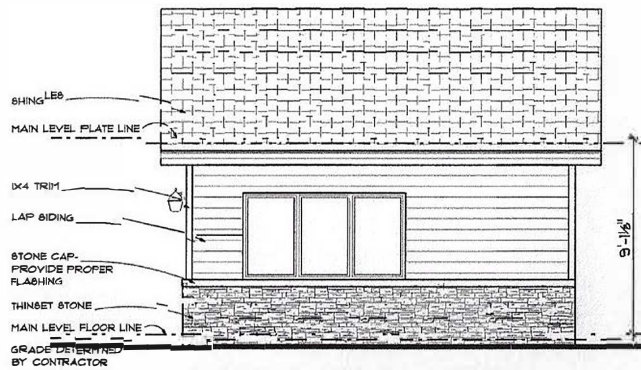
OK'D BY _____ DATE 1-21-12

SALESMAN TOM KENNY JOB# _____

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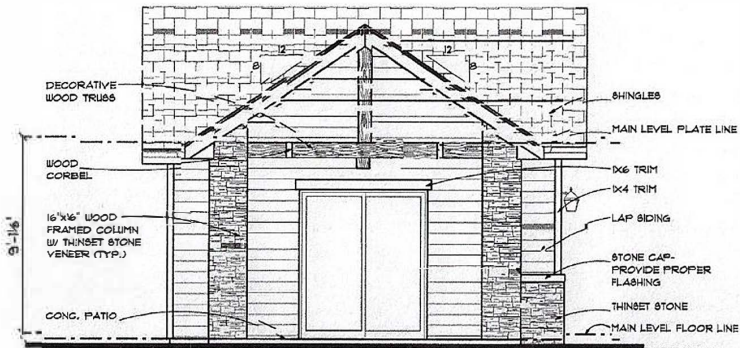
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ADMINISTRATOR



RIGHT ELEVATION

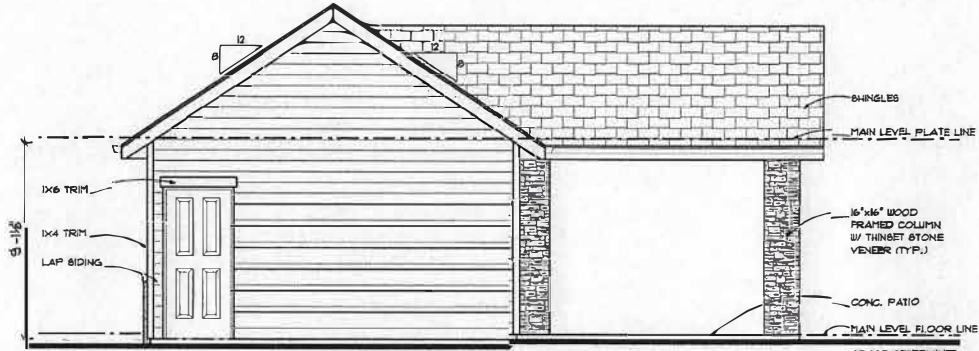
SCALE: 1/4" = 1'-0"



LEFT ELEVATION

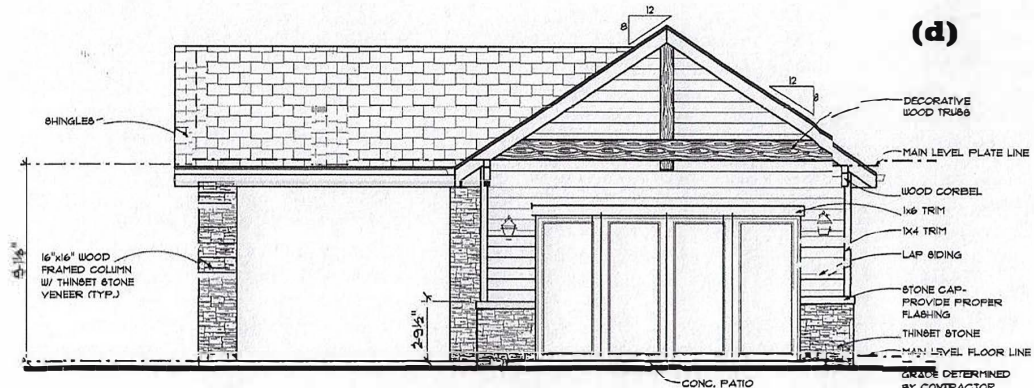
SCALE: 1/4" = 1'-0"

(b)



REAR ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

EXH. # 21(a-y)
V-132-21

REVISION
FINAL
1-3-9
REVISION

Birchwood



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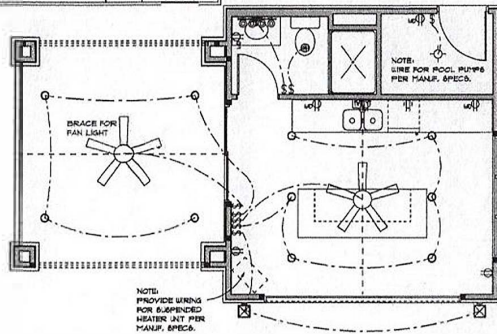
29432

SHEET
2
OF
6

100% SCALE: 1/8" = 1'-0"

Don't let a single sheet of paper stop you from building your dream home. Don't let a single sheet of paper stop you from building your dream home. Don't let a single sheet of paper stop you from building your dream home.

ELECTRICAL	COUNT	SYMBOL
CEILING FAN BLADES C4	2	
CAN LIGHT B4	10	
EXTERIOR LIGHT C2	2	
FAN	1	
LIGHT	1	
CABLE TV OUTLET	1	
OUTLET	4	
OUTLET 3PI	4	
SWITCH	8	
SMALL PAINTED CO 4 LIGHTS	1	

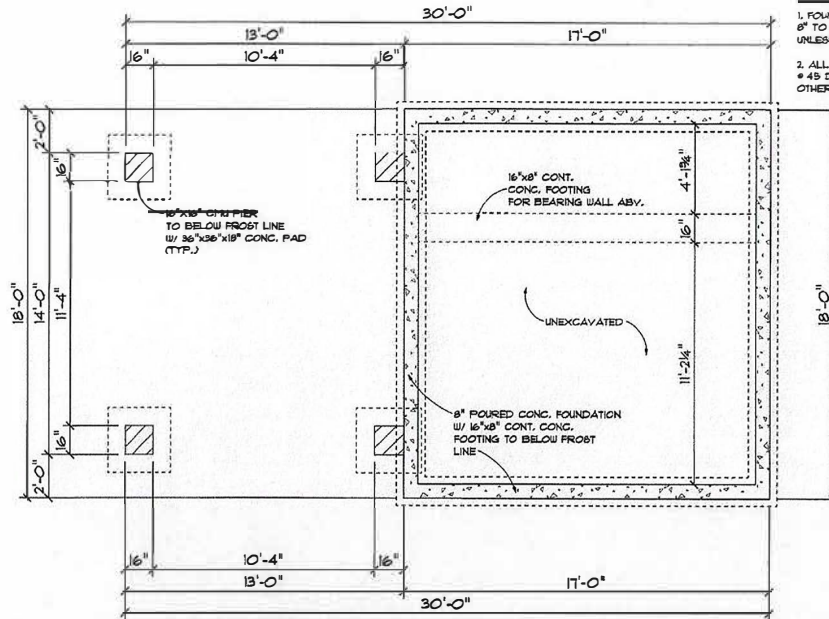


MAIN LEVEL ELECTRICAL PLAN

SCALE: 3/16" = 1'-0"

OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
I	WINDOW	90X48 CASHEMENT 3	7'-6" x 4'-0"	1
A	DOOR	144X80 GLASS	7'-0" x 6'-8"	1
B	DOOR	72X80 GLASS	6'-0" x 6'-8"	1
C	DOOR	36X80 EXTERIOR 1	3'-0" x 6'-8"	1
D	DOOR	30X80 1	7'-6" x 6'-8"	1

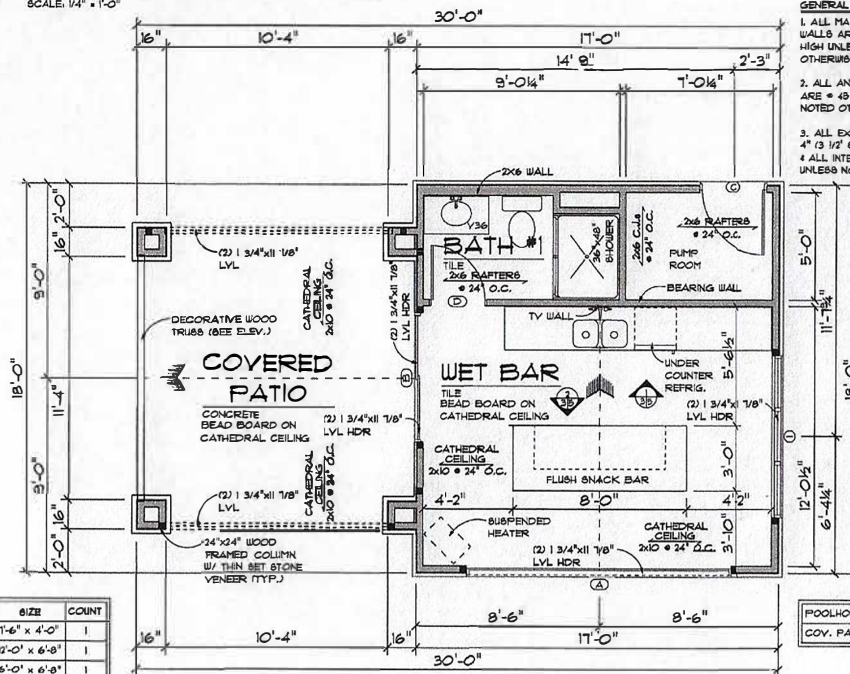
(f)



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

(g)



MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES:
1. FOUNDATION WALL ARE 8" TO BELOW FROST LINE UNLESS NOTED OTHERWISE.
2. ALL ANGLED WALLS ARE # 45 DEG. UNLESS NOTED OTHERWISE.

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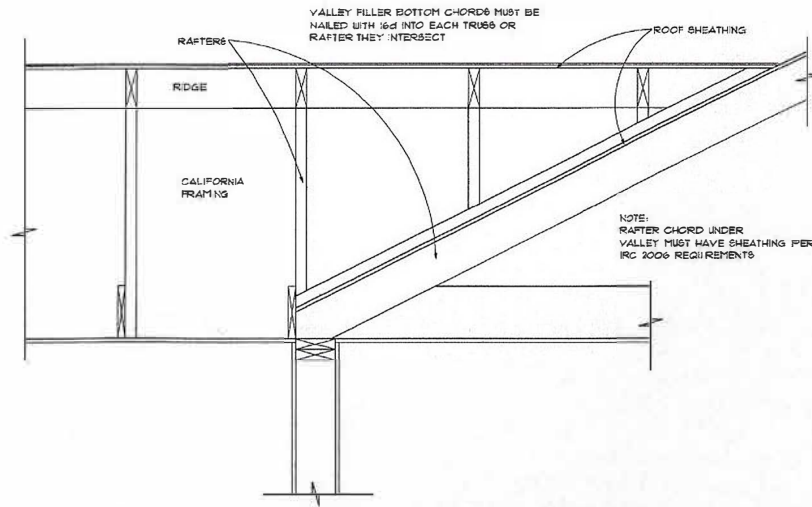
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SHEET
3

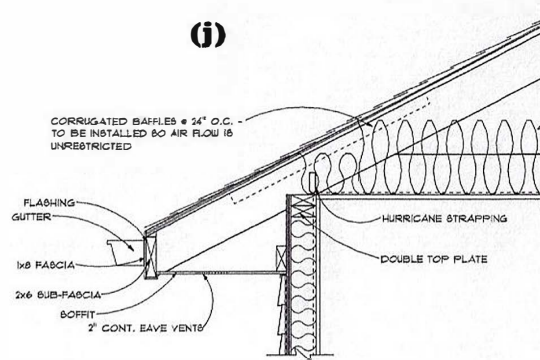
100% SCALE = 1/8" = 1'-0"

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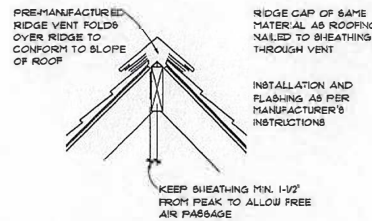
ROOF OVERFRAMING

SCALE: 1/4" = 0'



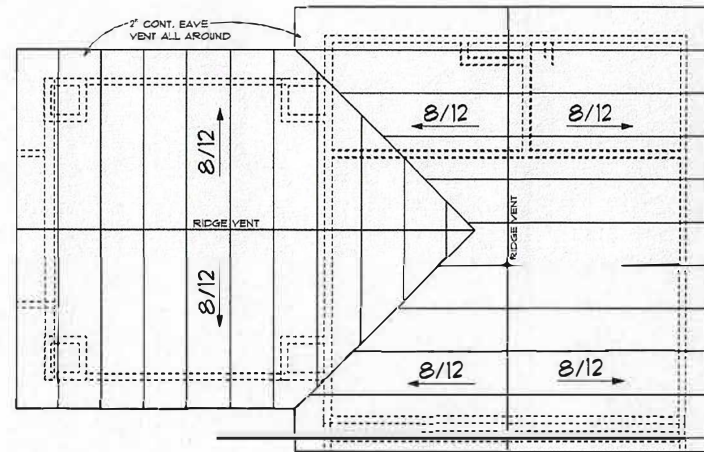
EAVE VENT

SCALE: 1/4" = 0'



RIDGE VENT

SCALE: 1/4" = 0'



ROOF PLAN

SCALE: 1/4" = 0'

BOARD OF APPEALS

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[Signature]
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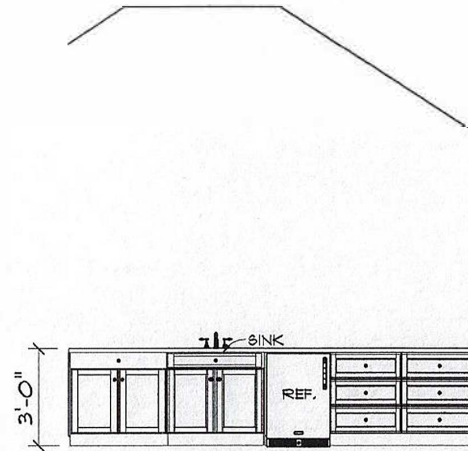
PRELIMINARY	FINAL	REVISION
Birchwood		
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<p>29432</p> <p>2019</p>		
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<p>100% SCALE = 1/8" = 0'</p> <p>GENERATED: 3/2/2020</p> <p>The purchaser of these plans is given the limited license to reproduce these plans for construction purposes only and further distribution is illegal. Do not scale prints - see dimensions. 333-AdvancedHousePlans.com 402-445-2489</p>		

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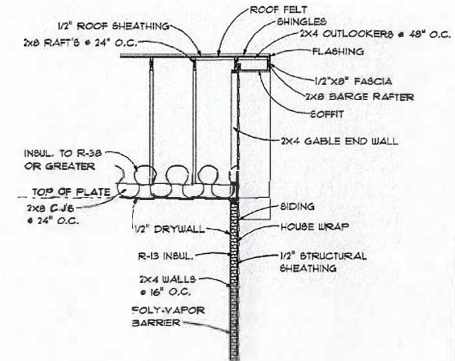
B. Stone
ADMINISTRATOR

(m)



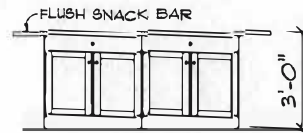
DETAIL 1

(n)



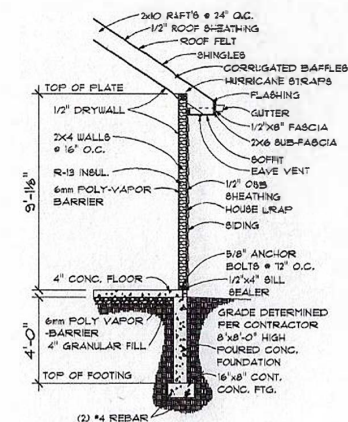
TYP. GABLE END SECTION
SCALE: 1/4" = 1'-0"

(o)



DETAIL 2

(p)



TYP. WALL SECTION
SCALE: 1/4" = 1'-0"

CABINET ELEVATIONS

SCALE: 3/8" = 1'-0"

PRELIM
FINAL
13-2
REVISION

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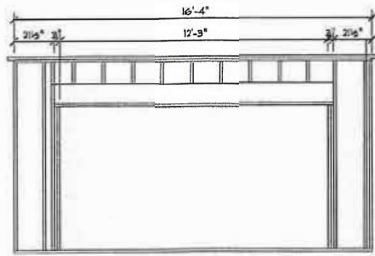
SHEET

5
OF
6

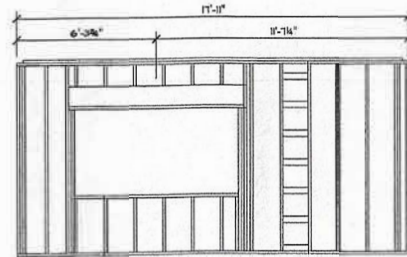
100% SCALE: 1/8" = 1'-0"

100% SCALE: 1/8" = 1'-0"

(q)

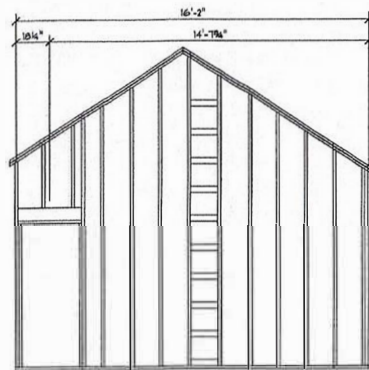


WALL NO. 1



WALL NO. 2

(s)

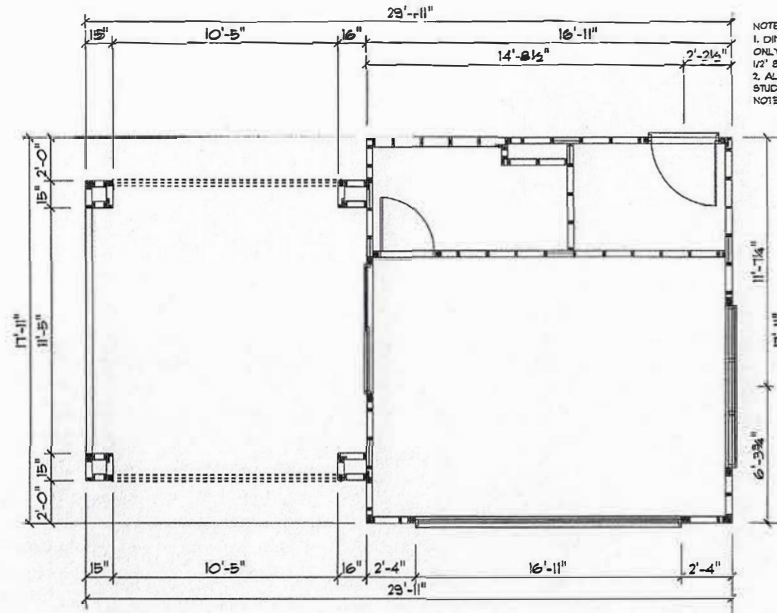


WALL NO. 3

WALL PANELS

SCALE: 1/4" = 1'-0"

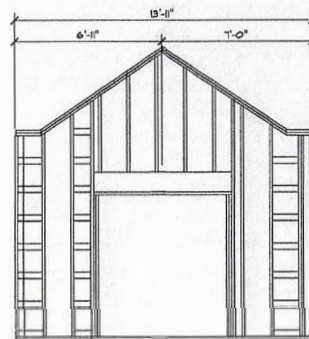
(x)



MAIN LEVEL FRAMING PLAN

SCALE: 1/4" = 1'-0"

(t)



WALL NO. 4

(x)

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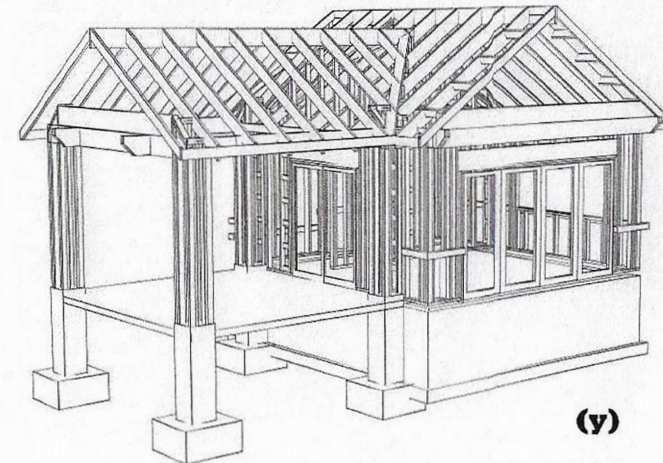
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(y)

FRAMING DIAGRAM

NOT TO SCALE

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SHEET

6

OF

6

100% SCALE: 1/8" = 1'-0"