



THE PRINCE GEORGE'S COUNTY GOVERNMENT

BOARD OF ZONING APPEALS

BOARD OF ADMINISTRATIVE APPEALS

COUNTY ADMINISTRATION BUILDING, UPPER MARLBORO, MARYLAND 20772
TELEPHONE (301) 952-3220

NOTICE OF FINAL DECISION

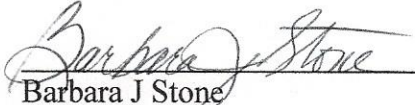
OF BOARD OF APPEALS

RE: Case No. V-34-21 Gary and Melanye Carroll

Enclosed herewith is a copy of the Board Order setting forth the action taken by the Board of Appeals in your case on the following date: July 14, 2021.

CERTIFICATE OF SERVICE

This is to certify that on 9/16/2021, the above notice and attached Order of the Board were mailed, postage prepaid, to all persons of record.


Barbara J Stone
Administrator

cc: Petitioner
Adjoining Property Owners
M-NCPPC, Permit Review Section
DPIE/Building Code Official, Permitting

BEFORE THE BOARD OF APPEALS FOR PRINCE GEORGE'S COUNTY, MARYLAND
Sitting as the Board of Zoning Appeals

Petitioners: Gary and Melanye Carroll

Appeal No.: V-34-21

Subject Property: Lot 5, Block A, Westwood Subdivision, being 12610 Henderson Chapel Lane, Bowie,
Prince George's County, Maryland

Witness: Andre Burwell, Architect

Heard and Decided: July 14, 2021

Board Members Present and Voting: Bobbie S. Mack, Chairperson - Absent
Albert C. Scott, Vice Chairman - Present
Anastasia T. Johnson, Member - Present

RESOLUTION

This appeal is brought before the Board of Appeals, sitting as the Board of Zoning Appeals for the Maryland-Washington Regional District in Prince George's County, Maryland (the "Board"), requesting a variance from the strict application of the provisions of Subtitle 27 of the Prince George's County Code (the "Zoning Ordinance").

In this appeal, a proceeding pursuant to Section 27-229 of the Zoning Ordinance, Petitioners request that the Board approve a variance from Section 27-442(e)(Table IV) of the Zoning Ordinance, which prescribes that each lot shall have a side yard at least 8 feet in width¹. Petitioners propose to obtain a building permit for the construction of a two-car garage. A variance of 7 feet side yard width is requested.

Evidence Presented

1. The property was subdivided in 1996, contains 45,011 square feet, is zoned R-E (Residential Estate) and is improved with a single-family dwelling, driveway, gazebo and swimming pool. Exhibits (Exhs.) 2, 4, 7, 8 and 9 (A) thru (F).

2. The rear property line is subject to a Homeowners Association Maintenance Area /Landscape Conservation Easement. The front left side of the property, running along the driveway, consists of a portion of Storm Drain Right of Way. Exhs. 2, 4, 7, 8 and 9 (A) thru (F).

3. Petitioners propose to obtain a building permit for the construction of a two-car garage that meets the existing driveway on the left side. The left side yard setback from the proposed garage will be only 10 feet. Therefore, a variance of 7 feet left side yard setback is required. Exhs. 2, 4, 7, 8 and 9 (A) thru (F).

4. Andre Burwell stated that the proposed two-car garage will connect to the dwelling by a breezeway. The garage then becomes part of the main structure and is no longer an accessory building. Exh. 2.

5. He stated that all of the garages in the community are located in the side yard. He noted that placing the proposed garage any closer to the house would not be consistent with the location of garages on other properties in the community. Exh. 2, 3 (a) thru (r) and 5 (A) thru (L).

6. He explained that the proposed garage cannot be placed in the rear yard as there is an existing gazebo and pool in the back yard and 30% of the rear yard is covered by a landscape buffer. Exh. 2, 3 (a) thru (r) and 5 (A) thru (L).

7. He testified that the second floor of the garage is dead space storage.

¹ It was incorrectly noted in the Hearing Notice that the required side yard setback is 8 feet. Pursuant to 27-442(e)(Table IV) of the Zoning Ordinance, in the R-E Zone, the side yard requirement is 17 feet. Because of the 10 feet side yard location of the proposed garage, a variance of 7 feet is still required. Exh. 2.

Applicable Code Section and Authority

Section 27-230 of the Zoning Ordinance authorizes the Board to grant variances when, by reason of exceptional narrowness, shallowness, shape, topography, or other extraordinary situation or condition of specific parcels of property, the strict application of the Zoning Ordinance would result in peculiar and unusual practical difficulties or an exceptional or undue hardship upon the owner of the property, provided such relief can be granted without substantial impairment of the intent, purpose and integrity of the General Plan or Master Plan.

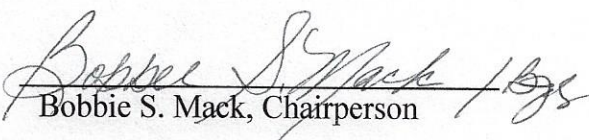
Findings of the Board

After hearing all the testimony and reviewing the evidence of record, the Board finds that the requested variance complies with the applicable standards set forth in Section 27-230, more specifically:

Due to the location of the preexisting driveway on the left side leading to the proposed garage, the neighborhood location of garages in the side yards, the location of an existing gazebo and swimming pool prohibiting the location of the proposed garage in the (back side) and rear yards, the property consisting of 30% Conservation Landscape Buffer in the rear yard, and granting the relief requested would not substantially impair the intent, purpose and integrity of the General Plan or Master Plan, and denying the request would result in a peculiar and unusual practical difficulty upon the owners of the property.

BE IT THEREFORE RESOLVED, by majority vote, Ms. Bobbie Mack absent, that a variance of a variance of 7 feet side yard width in order to obtain a building permit for the construction of a two-car garage with breezeway on the property located at 12610 Henderson Chapel Lane, Bowie, Prince George's County, Maryland, be and is hereby APPROVED. Approval of the variance(s) is contingent upon development in compliance with the approved site plan, Exhibit 2 and approved elevation plans, Exhibits 3 (a) thru (r).

BOARD OF ZONING APPEALS

By: 
Bobbie S. Mack, Chairperson

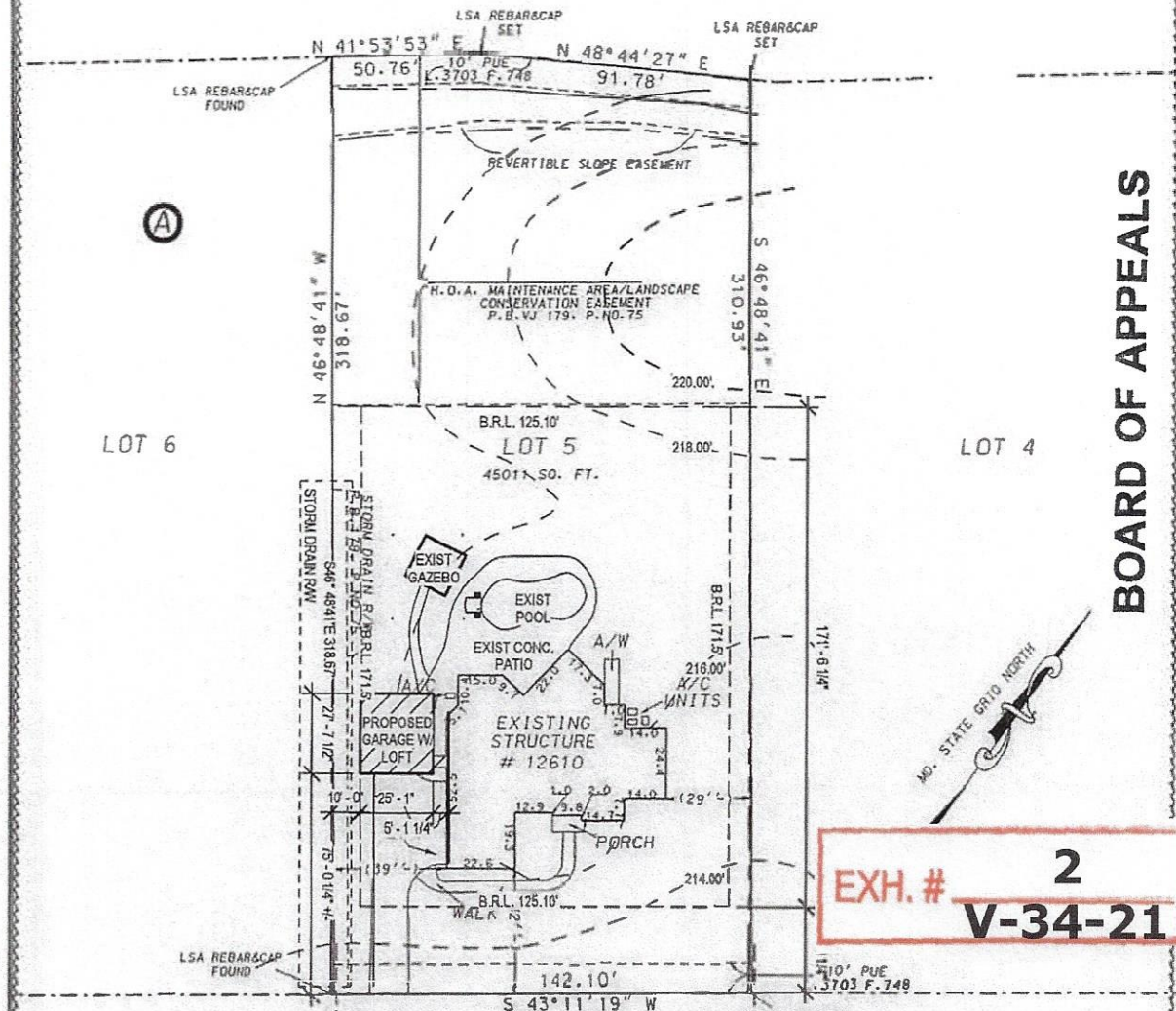
NOTICE

Within thirty (30) days from the date of this decision, any person, firm, corporation, or governmental agency who was a party to the Board's proceedings and is aggrieved by its decision may file an appeal to the Circuit Court of Prince George's County.

Further, Section 27-233(a) of the Prince George's County Code states:

A decision of the Board, permitting the erection of a building or structure, shall not be valid for more than two (2) years, unless a building permit for the erection is obtained within this period and the construction is started and proceeds to completion in accordance with the terms of the decision and the permit.

MD. RTE. 450
(VARIABLE WIDTH R/W)



BOARD OF APPEALS

APPROVED JUL 14 2021

ADMINISTRATOR

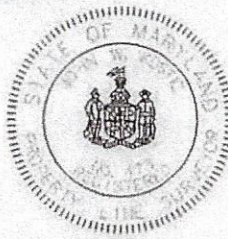
EXH. # 2
V-34-21

HENDERSON CHAPEL LANE
(50' R/W)

BUILDING SETBACKS AS LISTED ON
APPROVED SITE DEVELOPMENT PLAN:

FRONT = 25'
SIDE = 8' MINIMUM 17' TOTAL
REAR = 20'

THE PROPERTY SHOWN HEREON IS LOCATED
IN ZONE C (AREA OF MINIMAL FLOODING)
ACCORDING TO NATIONAL FLOOD INSURANCE
PROGRAM F.I.R.M. MAP COMMUNITY PANEL
NO. 245208-0035C AS REVISED 6-18-87.



LEGEND

A = ARC LENGTH
A/W = AREAWAY
B/W = BAY WINDOW
W/W = WINDOW WELL
D/W = DRIVEWAY
A/C = AIR CONDITIONER
R = RADIUS LENGTH
R/W = RIGHT-OF-WAY
P.U.E. = PUBLIC UTILITY EASEMENT
WSSC = WASHINGTON SUBURBAN
SANITARY COMMISSION
O.H. = OVERHANG

LOCATION DRAWING

PLEASE NOTE:

- 1) DIMENSIONS SHOWN WITHIN "()" ARE COMPUTED TO AN ACCURACY OF PLUS OR MINUS ONE FOOT.
- 2) NO TITLE REPORT FURNISHED. SUBJECT TO ANY AND ALL EASEMENTS, RIGHTS-OF-WAY AND COVENANTS OF RECORD.
- 3) THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING OR REFINANCING.
- 4) THIS PLAT IS NOT TO BE RELIED UPON FOR THE CONSTRUCTION OF FENCES, GARAGES, BUILDINGS OR FUTURE IMPROVEMENTS.
- 5) THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING.
- 6) EXISTING VEGETATION OR VEGETATIVE IMPROVEMENTS HAVE NOT BEEN LOCATED OR IDENTIFIED AS PART OF THIS SURVEY.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT OF THE PROPERTY SHOWN ABOVE, DESCRIBED AS LOT 5 BLOCK A
PLAT ONE WESTWOOD

AND RECORDED IN PLAT BOOK VJ179 ON PLAT NO. 75 AMONG THE LAND RECORDS OF PRINCE GEORGE'S
COUNTY, MARYLAND, WAS PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE,
INFORMATION AND BELIEF THAT, UNLESS OTHERWISE SHOWN, THERE WERE NO VISIBLE ENCROACHMENTS FOUND ACROSS
THE PROPERTY LINES AND THAT THE EXISTING IMPROVEMENTS WERE ESTABLISHED BY ACCEPTABLE SURVEYING PRACTICES.

John W. Kostic, Property Line Surveyor, MD. Reg. No. 473

Date



LOIEDERMAN SOLTESZ ASSOCIATES

1390 Piccard Drive
Rockville, Maryland 20850
(301) 948-2750

4266 Forbes Boulevard
Lanham, Maryland 20706
(301) 794-7555

7 North Market Street
Frederick, Maryland 21701
(301) 696-1240

6E Industrial Park Drive
Waldorf, Maryland 20602
(301) 870-2168

Job No.
202-05-01

Scale
1" = 50'

WALL CHECK

Date
10-22-02

Drawn
T. STEWART

Checked
DAH

FINAL

Date
1-23-03

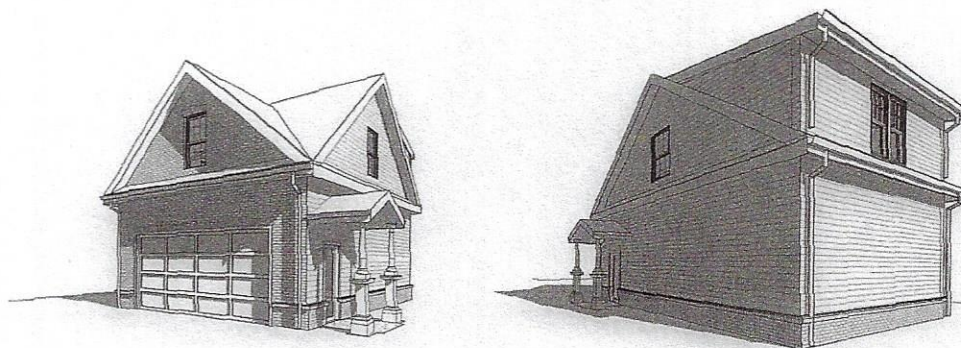
Drawn
D. HINCH

Checked
JMS



RECYCLABLE -
If Printed on
xerographic bond paper

12610 HENDERSON CHAPEL LN, BOWIE, MD 20720
PROPOSED DETACHED TWO CAR GARAGE



CODE REVIEW BASED ON THE FOLLOWING APPLICABLE CODES:
 BUILDING: 2015 PRINCE GEORGES COUNTY BUILDING CODE, SUBTITLE 4
 MECHANICAL: 2015 PRINCE GEORGES COUNTY MECHANICAL CODE, SUBTITLE 4
 PLUMBING: 2015 INTERNATIONAL PLUMBING CODE
 ELECTRICAL: 2015 INTERNATIONAL ELECTRICAL CODE, SUBTITLE 1
 FIRE: 2015 INTERNATIONAL FIRE CODE, SUBTITLE 1
 ENERGY: 2015 IECC, SUBTITLE 4

BUILDING INFORMATION
 LOT 5, BLOCK A, VESTWOOD

PROPOSED: PROPOSED 22'2" x 27' TWO CAR GARAGE
 BUILDING ZONE: R2
 LOT COVERAGE: 45/111 SQFT
 LOT AREA: 104 SQFT / 16115 SQFT (ALL STRUCTURES)
 STRUCTURE AREA: 147
 LOT COVERAGE (MAX): 30%
 BUILDABLE AREA SETBACKS: ALLOWED EXISTING PROPOSED
 FRONT: 25'-0" UNCHANGED (25' MIN ALLOWED)
 REAR YARD: 20'-0" UNCHANGED (20' MIN ALLOWED)
 SIDE YARD: 5'-0" / 15'-0" 5'-0" / 20'-0" / 4'-0"
 PROPOSED BUILDING HEIGHT: 25'-4" ABOVE AVERAGE GRADE (25' ALLOWED)

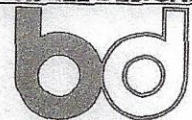
(a)

EXH. # **3(a-r)**
V-34-21

DRAWING INDEX	
SHEET NO.	SHEET TITLE
GENERAL	COVER SHEET
0001	COVER SHEET
0002	PLAN NOTES
0003	DEED PLAN
ARCHITECTURAL	
A101	1ST FLOOR PLAN
A102	2ND FLOOR PLAN
A103	ROOF PLAN
A104	NORTH ELEVATION
A105	EAST ELEVATION
A106	WEST ELEVATION
A107	SECTION A
A108	SECTION B
A109	WALL SECTIONS
A110	WALL SECTION
STRUCTURAL	
S101	SLAB FLOOR PLAN
S102	ROOF FRAMING
S103	ROOF FRAMING

APPROVALS

BURWELL DESIGNS LLC



Architecture, Interiors, Planning, CAFM/CADD
 4417 HAVELOCK RD, LANHAM, MARYLAND 20706
 www.burwelldesignsllc.com

PROJECT

**PROPOSED
 GARAGE**

12610 HENDERSON CHAPEL LN
 BOWIE, MD 20720

ISSUED FOR

☐ PROGRESS ☒ PERMIT ☐ BIDDING
☐ CONSTRUCTION

DRAWING TITLE

COVERSHEET

DATE

05/12/2020

SCALE

12" = 1'-0"

PROJECT NO.

20-3102

SHEET NO.

G001

BOARD OF APPEALS

APPROVED JUL 14 2021

[Signature] **3(a-r) attached**
 ADMINISTRATOR

INSTRUCTIONS TO CONTRACTORS

1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO ORDERING MATERIAL AND COMMENCING THE WORK.
2. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER - NO SMOGGING INSIDE. ALL TRASH INCLUDING CONCRETE BITTS TO BE CLEANED EACH DAY. SITE TO BE BROOM CLEAN HOUSE TO BE SPRAYED EACH DAY AT END OF DAY.
3. CONTRACTOR SHALL INCLUDE COST OF PROFESSIONAL CLEANING AFTER OVERALL SANDING AND AT COMPLETION OF PROJECT. CONTRACTOR SHALL INCLUDE COST OF PROFESSIONAL DUST CLEANING AT COMPLETION OF PROJECT.
4. THE STORAGE OF CONSTRUCTION MATERIALS SHALL BE IN AN AREA DESIGNATED BY THE OWNER.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL WORK AND MATERIALS TO ACCOMPLISH THE INTENT OF THE PLANS. PLANS INDICATE THE EXISTING GENERAL CONTRACTOR AND LOCATION OF THE WORK. MAJOR DETAILS NOT SHOWN SHALL BE PROVIDED COMPLETE TO PERFORM THE FUNCTIONS INTENDED.
6. ALL NECESSARY PERMITS AND WALL CHECKS SHALL BE OBTAINED AND PAID FOR BY THE GENERAL CONTRACTOR.

SITE WORK

1. CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE FOOTINGS AND PERFORM ALL FOOTING DIMENSIONS WITH ARCHITECT IN FIELD PRIOR TO POURING CONCRETE.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING FINISHED CONCRETE AND INSTALLING SEED AND STRAW ON ALL DISTURBED GRASS AREAS.
3. CONTRACTOR SHALL REMOVE ALL EXISTING DIRT FROM SITE, OTHER THAN THAT REQUIRED FOR SHOVELS, AND FOR HAVING GRADE AS SHOWN ON DRAWINGS.

CONCRETE FOOTINGS & PIERS

1. ALL FOOTINGS SHALL BE A MINIMUM OF 1'-0" INTO EXISTING UNDISTURBED SOIL. ALL FOOTINGS SHALL BE A MINIMUM OF 2'-0" UNDISTURBED OUTSIDE GRADE.
2. ALL CONCRETE WORK SHALL CONFORM TO THE ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-05). ALL CONCRETE WORK SHALL HAVE A 5,000 PSI COMPRESSIVE STRENGTH OF 3,500 PSI. CONCRETE EXPOSED TO WEATHER SHALL BE 4,000 PSI AIR-ENTRAINED CONCRETE PER ACI FOR COVERED EXPOSURE.
3. CONCRETE FOOTINGS TO BE OF SIZES INDICATED ON DRAWINGS. WITH 2-#4 CONTINUOUS. WITH ONE #4 TURNED VERTICALLY IN 4" OF C.C. INTO BLOCK CELL - PROOT THIS CELL SOIL.
4. ABOUT THE WORK OF BLOCK SOIL, SETTING ALL CONCRETE BLOCK SOILS WITH 2" WITH 2" COVER.

FIRE PROTECTION

1. PURSUANT TO RES 2018 CODE (2015), ALL FIRE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND THE BATHROOM. THE BATHROOM SHALL BE INSTALLED IN EACH SLEEPING ROOM. WHEN THERE ARE MORE THAN ONE FIRE ALARM IN THE HOUSE, THEY SHOULD BE INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE HOUSE. AN ACTIVATED ALARM SHOULD BE ACKNOWLEDGED IN ALL SLEEPING ROOMS BACKGROUND NOISE.

CODE

APPLICABLE CODE	INTERNATIONAL RESIDENTIAL CODE 2015 - PRINCE GEORGE'S COUNTY, MARYLAND
Flow Code	2015-2018 (1-14-18) Per sec.
Roof Load	1.4 psf (14 psf) (14 psf)
Ground Snow Load	30 psf (30 psf) (14 psf)
Wind Load	30 psf (30 psf) (14 psf)
Seismic Design Cat.	30 psf (30 psf) (14 psf)
Big Thermal Envelope	2015-2018 (1-14-18) Per sec.
Soil Bearing Capacity	1500 psf (1500 psf) (14 psf)
SELECT TO MATCH FROM	
Weathering	Seismic
Free Line Depth	15' (15' or less)
Drainage Protection	15' (15' or less)
Moisture	15' (15' or less)
Water Design Temp.	15' (15' or less)
Ice Shield	15' (15' or less)
Underground Pipe	15' (15' or less)
Flow Hazards	15' (15' or less)
Air Freezing Index	300
Mean Annual Temp.	55' (55' or less)

WOOD FRAMING

1. LUMBER FOR INTERIOR ROUGH CARPENTRY, FRAMING, BLOCKING, JOIST BLOCKS, ETC. SHALL BE SOUTHERN PINE OR BETTER, OR SOUTHERN YELLOW PINE - GRADE 2 OR BETTER, ALL EXTERIOR FRAMING ELEMENTS TO BE NON-RESINUS PRESURE TREATED, USE STAINLESS STEEL NAILS AND HANGERS (WHERE REQUIRED) TO USE WOOD TREATED LUMBER.
2. JOIST AND RAFTERS SHALL BE OF SIZES AND SPACING AS SHOWN ON THE DRAWINGS AND SHALL BE PROPERLY BRACED AT INTERVALS NOT TO EXCEED 4'-0" O.C.
3. FLOORING STRIPS, GROUNDING STRIPS, ETC. SHALL BE 2" X 4" OR WATER-RESISTANT JOIST OR STRIPS.
4. ALL ROUGH-IN FRAMING SHALL BE INSPECTED WITH 3/4" LEVEL. TO ENSURE THAT ALL FRAMING IS STRAIGHT, PLUMB AND SQUARE. ANY FRAMING THAT IS NOT SHALL BE RE-SET PRIOR TO DRYWALL.
5. ROOF SHEATHING TO BE 5/8" OSB. WALL SHEATHING TO BE 5/8" OSB. SUBFLOOR TO BE 5/8" OSB. AND GROOVE OR SAWN AND GLED. EXTERIOR WALLS TO BE 2" X 4" WOOD STUDS @ 16" O.C. INTERIOR PARTITIONS TO BE 2" X 4" @ 16" O.C. WHERE NOT SHOWN, 16" O.C. WHERE SHOWN, UNLESS NOTED OTHERWISE.
6. ALL WINDOW SILLS TO HAVE DOUBLE 2" X 4" SILL PLATE - ALL JAMES TO HAVE MIN. 2" X 4" JOISTS, SILL PLATE ON FOUNDATION WALLS TO BE CONTINUOUS 2" X 4" PRESSURE TREATED, COMPLETE WITH TYPICAL SHIELD.
7. CONTRACTOR TO PROVIDE ARCHITECT WITH SHOP DRAWINGS OR MANUFACTURED JOIST TRUSSES FOR REVIEW PRIOR TO INSTALLATION - TRUSSES TO BE 2" X 4" C.C. AND TO MATCH EXISTING INTERIOR AND EXTERIOR SLOPE - OUTSIDE TRUSS DESIGN SET OFF FOR OVERLAP TO MATCH EXISTING DETAIL.
8. MICROPLUMBER SHALL HAVE MIN. F = 2000 PSI AND E = 1,000,000 PSI.

MOISTURE PROTECTION/INSULATION

1. FLASHING TO BE PAINTED ALUMINUM TO MATCH EXISTING TRIM COLOR.
2. GUTTERS AND DOWNSPUTS TO MATCH EXISTING - THE DOWNSPUTS TO EXISTING PAINTED - ENSURE GUTTERS SLOPE AWAY FROM HOUSE, INSTALL ON SLOPE TO MATCH EXIST.
3. SHINGLES TO MATCH EXIST ASPHALT SHINGLES WITH ALUMINUM CORP EDGE AND 30 BLDG. FELT. ALTERNATE ALL NEW ROOF WITH 30 YR. DIMENSIONAL SHINGLES.
4. INSULATION SHALL BE PAPER FACED FIBER GLASS BATT INSULATION - 1/2" WALLS IN 20" R-10 GUTTERS, SOUND INSULATION IN NEW BASEMENT CEILING TO BE 12" BATT.
5. CEILING JOINTS IN THE EXTERIOR OF THE BUILDING INCLUDING JOINTS BETWEEN WINDOWS, SLIDING GLASS DOORS, AND OTHER UNIT FRAMES AND THE EXTERIOR MASONRY AND BRICK, CALLING BY PTC OR DAP.
6. CONTRACTOR TO VERIFY ALL SEALETH IN VAPOR BARRIER ONCE SHEATHING IS INSTALLED.

WINDOW, SCREENING, AND GLASS DOORS

1. WINDOWS TO BE PELLA - LOWE WHITE CLAD EXTERIOR WITH FINISHED INTERIOR - NO MANTLES, BRIGED NOVEL HARDWARE, COMPLETE WITH SCREENS OR OPTIONAL WINDOWING.
2. CONTRACTOR TO INSTALL WINDOWS AS PER MANUFACTURER'S INSTRUCTIONS, COMPLETE WITH FLASHING AT ALL JOINTS.

DRYWALL WORK

1. GYPSUM WALLBOARD SHALL BE U.S. GYPSUM CO. OR NATIONAL GYPSUM CO. BOARDED THINER EDGE 1/2" OR THIN UNLESS OTHERWISE NOTED.
2. BUILDUP DRYWALL WORK AS REQD. FOR PARTITION WALLS IN AREAS OF STRUCTURAL WORK IN BASEMENT.

ELECTRICAL

1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND THE NEC.
2. CONTRACTOR TO INSTALL HARD WIRED SMOKE DETECTORS IN ALL BEDROOMS AND AS REQUIRED BY CODE IN OTHER COMMON AREAS.
3. CONTRACTOR TO INCLUDE ALL LABOR AND MATERIALS REQUIRED FOR NEW PANEL AND METER BOX. CONTRACTOR TO INCLUDE ALL COORDINATION AND FOLLOW UP WITH ELECTRICAL SERVICE PROVIDER, HOMEOWNER TO PAY SERVICE PROVIDER ENGINEERING FEES.

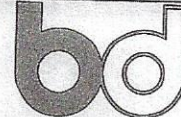
KITCHEN CABINETS/C-TOPS & OTHER MILLWORK

1. HOMEOWNER TO PURCHASE ALL OTHER CABBETS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SHOP DRAWINGS FROM CABINET SUPPLIER TO ENSURE THAT ALL FRAMING LOCATIONS ARE COORDINATED FOR ELECTRICAL, MECHANICAL, ETC.
2. CONTRACTOR SHALL BE RESPONSIBLE WITHIN CONTRACT FOR INSTALLATION OF ALL MILLWORK. ADDITIONALLY CONTRACTOR TO INCLUDE COST OF RECEIVING AND INVENTORY, AS WELL AS EXTRA WORK FOR RELOCATION OF CABBETS AND WORK REQUIRED TO RE-THROW THEM TO THE NEW LOCATION.
3. HOMEOWNER TO PURCHASE COUNTERTOPS. CONTRACTOR SHALL INCLUDE COST OF TIME REQUIRED FOR COORDINATION OF TEMPLATING AND INSTALLATION.
4. HOMEOWNER SHALL PURCHASE APPROPRIATE DIRECTLY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROPRIATE CUT SHEETS AND PROVIDING THEM TO ALL SUBCONTRACTORS.

APPROVALS

(b)

BURWELL DESIGNS LLC



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PROJECT

PROPOSED GARAGE

12610 HENDERSON CHAPEL LN
BOWIE, MD 20720

ISSUED FOR

- ☐ PROGRESS ☒ PERMIT ☐ BIDDING
☐ CONSTRUCTION

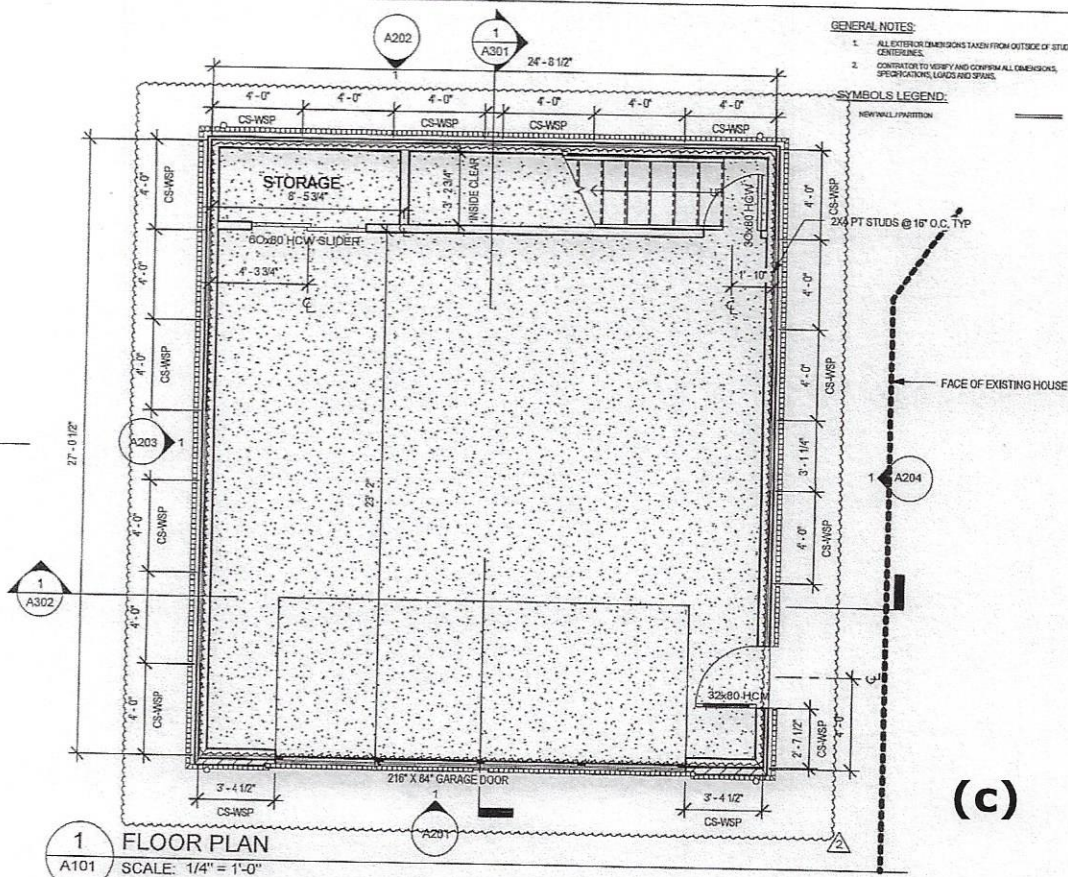
DRAWING TITLE

GEN. NOTES

DATE
05/12/2020
SCALE
6" = 1'-0"
PROJECT NO.
20-3102

SHEET NO.

G101



(c)

APPROVALS

BURWELL DESIGNS LLC



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12610 HENDERSON CHAPEL LN
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ISSUED FOR

☐ PROGRESS ☒ PERMIT ☐ BIDDING
☐ CONSTRUCTION

DRAWING TITLE

1ST FLOOR PLAN

DATE

05/12/2020

SCALE

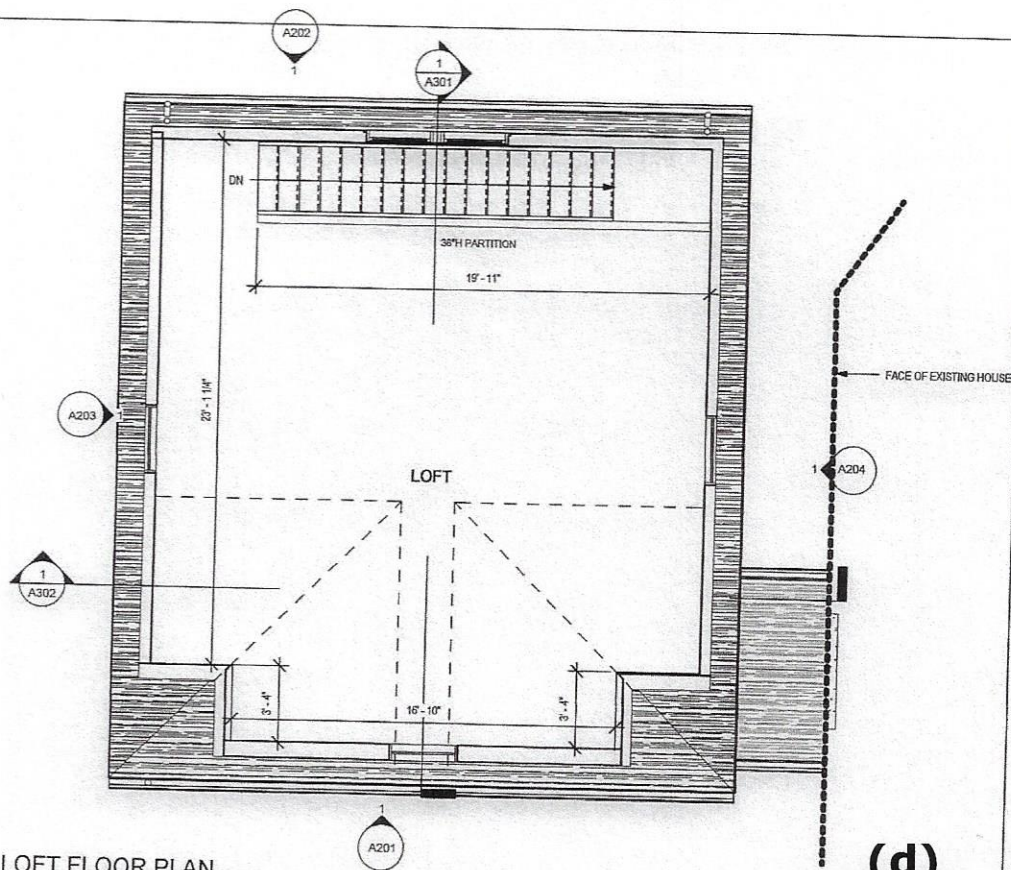
As indicated

PROJECT NO.

20-3102

SHEET NO.

A101



(d)

APPROVALS

BURWELL DESIGNS LLC



Architecture, Interiors, Planning, CAFM/CADD
4417 HAVELOCK RD, LANHAM, MARYLAND 20706
www.burwelldesignsllc.com

PROJECT

**PROPOSED
GARAGE**

12610 HENDERSON CHAPEL LN
BOWIE, MD 20720

ISSUED FOR

☐ PROGRESS ☒ PERMIT ☐ BIDDING
☐ CONSTRUCTION

DRAWING TITLE

LOFT FLOOR PLAN

DATE

05/12/2020

SCALE

1/4" = 1'-0"

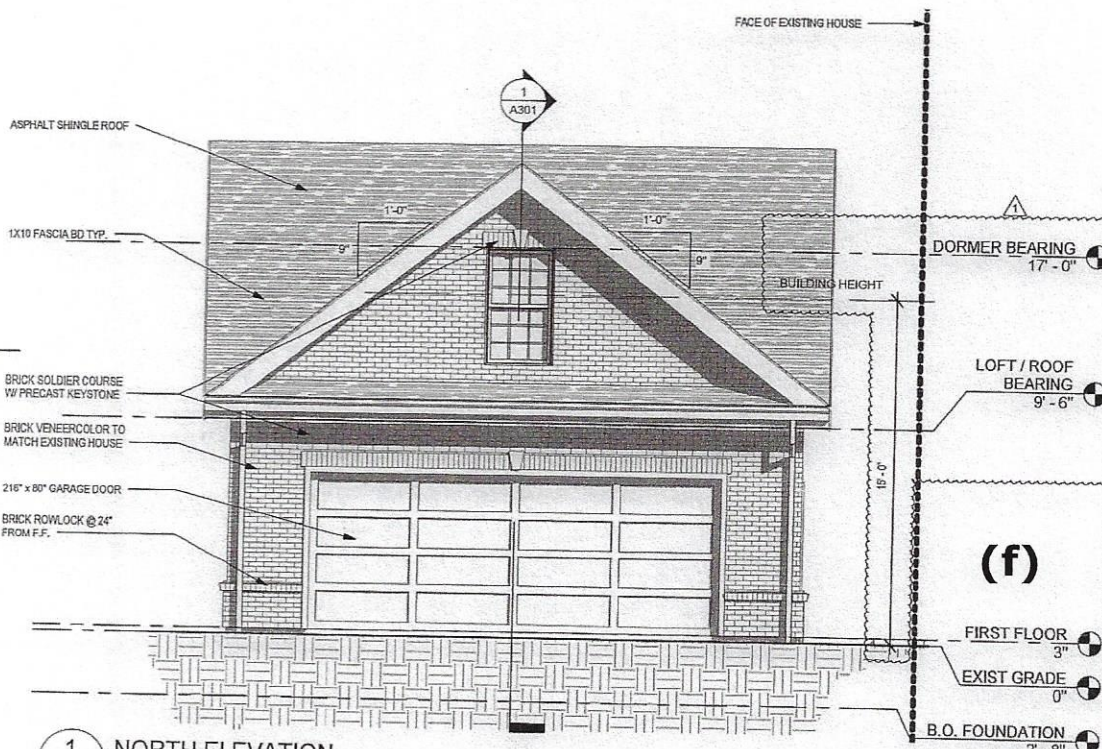
PROJECT NO.

20-3102

SHEET NO.

A102

1 LOFT FLOOR PLAN
A102 SCALE: 1/4" = 1'-0"



APPROVALS

BURWELL DESIGNS LLC

bd

Architecture, Interiors, Planning, CAFM/CADD
4417 HAVELOCK RD, LANHAM, MARYLAND 20706
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PROJECT

PROPOSED GARAGE

12610 HENDERSON CHAPEL LN
BOWIE, MD 20720

ISSUED FOR

☐ PROGRESS ☒ PERMIT ☐ BIDDING

☐ CONSTRUCTION

DRAWING TITLE

NORTH ELEVATION

DATE
05/12/2020

SCALE
1/4" = 1'-0"

PROJECT NO.
20-3102

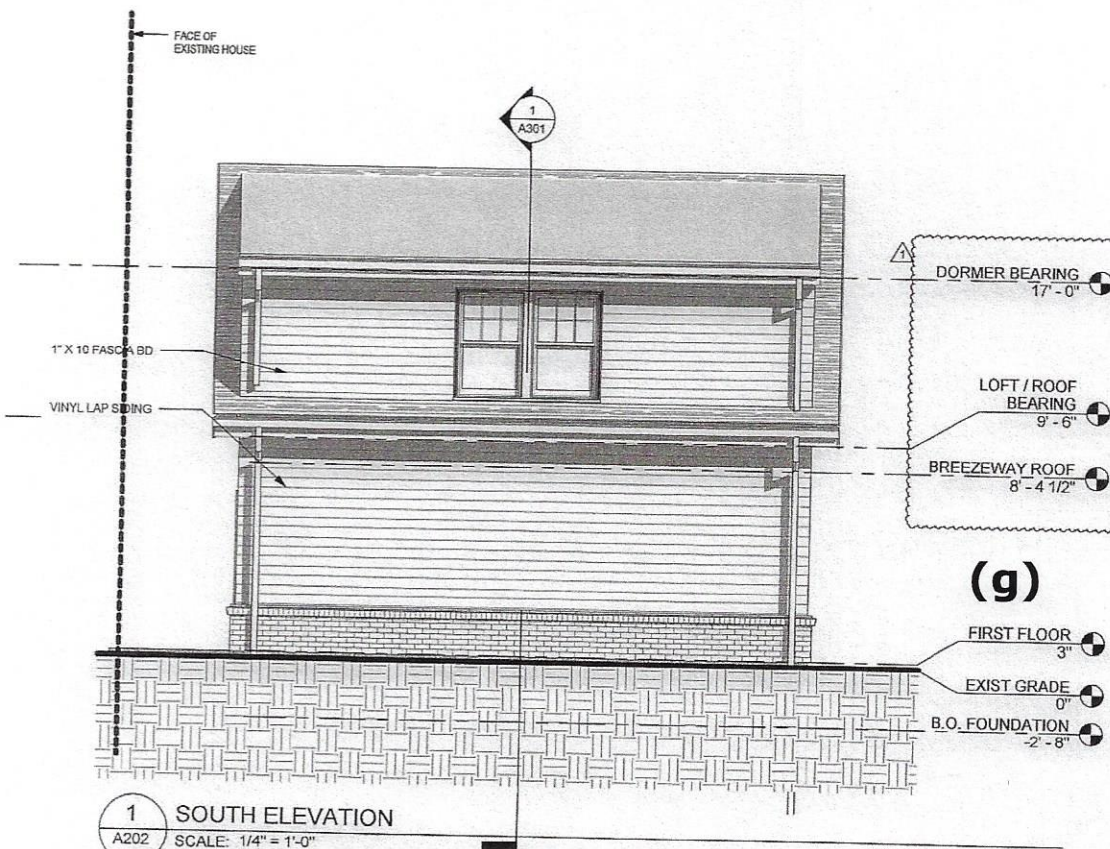
SHEET NO.

A201

1
A201

NORTH ELEVATION

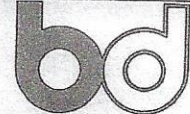
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
A202 SCALE: 1/4" = 1'-0"

APPROVALS

BURWELL DESIGNS LLC



Architecture, Interiors, Planning, CAFM/CADD
4417 HAVELOCK RD, LANHAM, MARYLAND 20706
www.burwelldesignsllc.com

PROJECT

**PROPOSED
GARAGE**

12610 HENDERSON CHAPEL LN
BOWIE, MD 20720

ISSUED FOR

☐ PROGRESS ☒ PERMIT ☐ BIDDING
☐ CONSTRUCTION

DRAWING TITLE

SOUTH ELEVATION

DATE

05/12/2020

SCALE

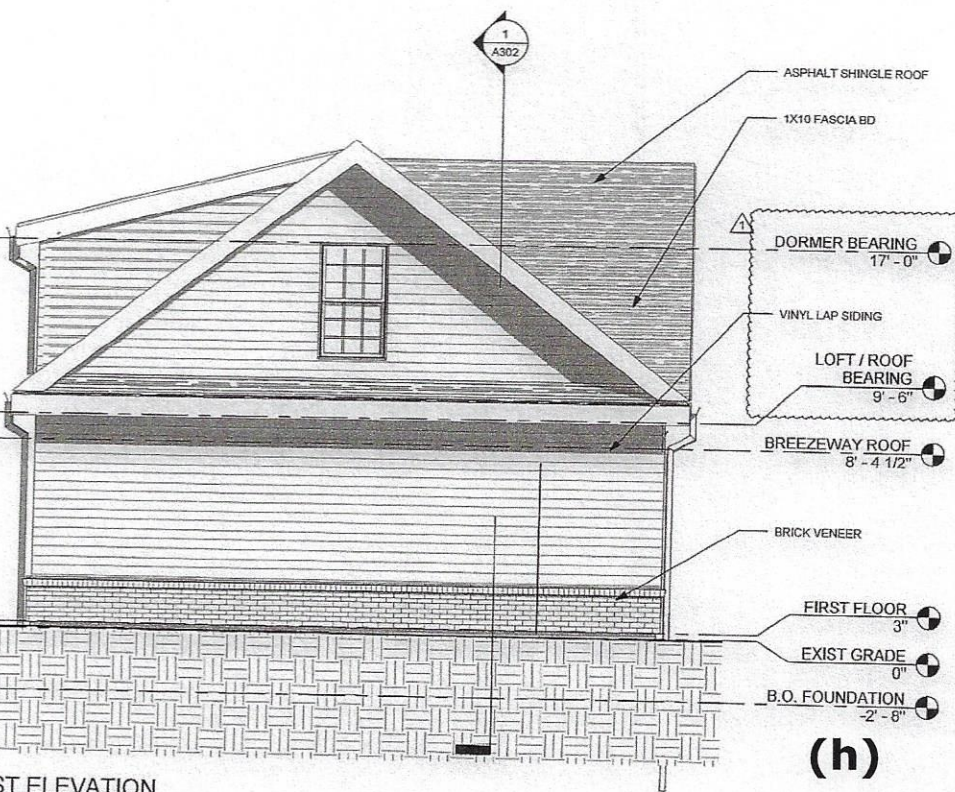
1/4" = 1'-0"

PROJECT NO.

20-3102

SHEET NO.

A202



1 EAST ELEVATION
A203 SCALE: 1/4" = 1'-0"

(h)

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DRAWING TITLE

EAST ELEVATION

DATE

05/12/2020

SCALE

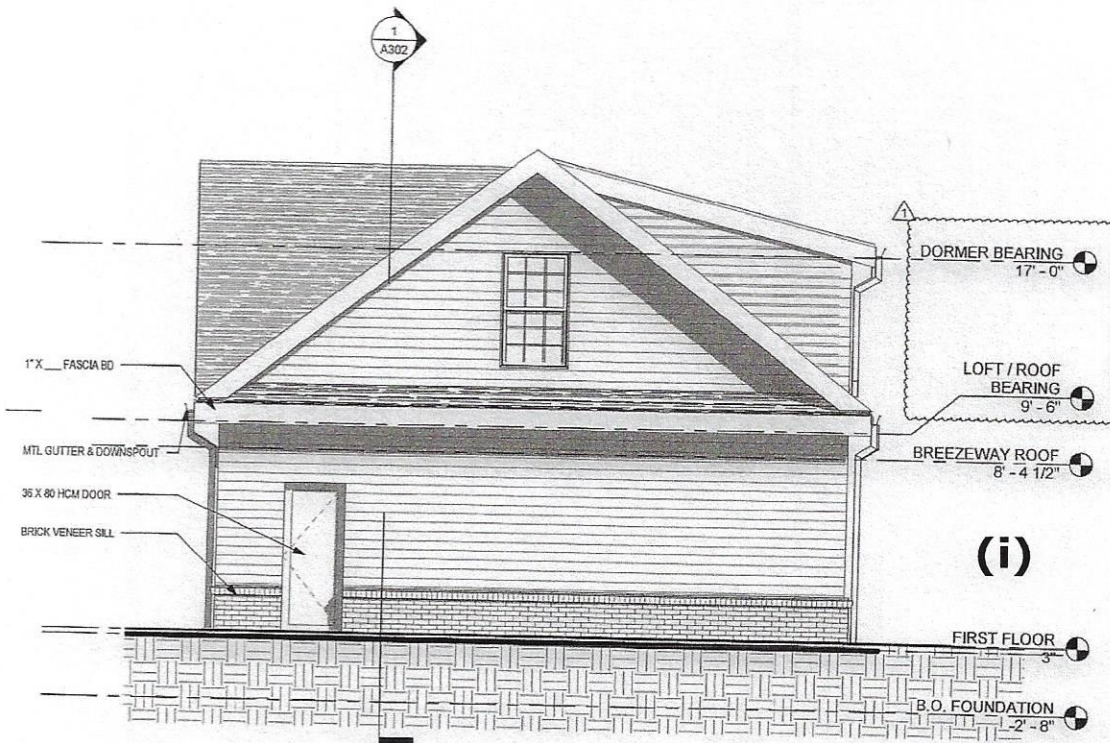
1/4" = 1'-0"

PROJECT NO.

20-3102

SHEET NO.

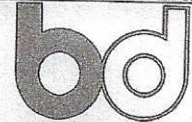
A203



1 WEST ELEVATION
A204 SCALE: 1/4" = 1'-0"

APPROVALS

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DRAWING TITLE

WEST ELEVATION

DATE

05/12/2020

SCALE

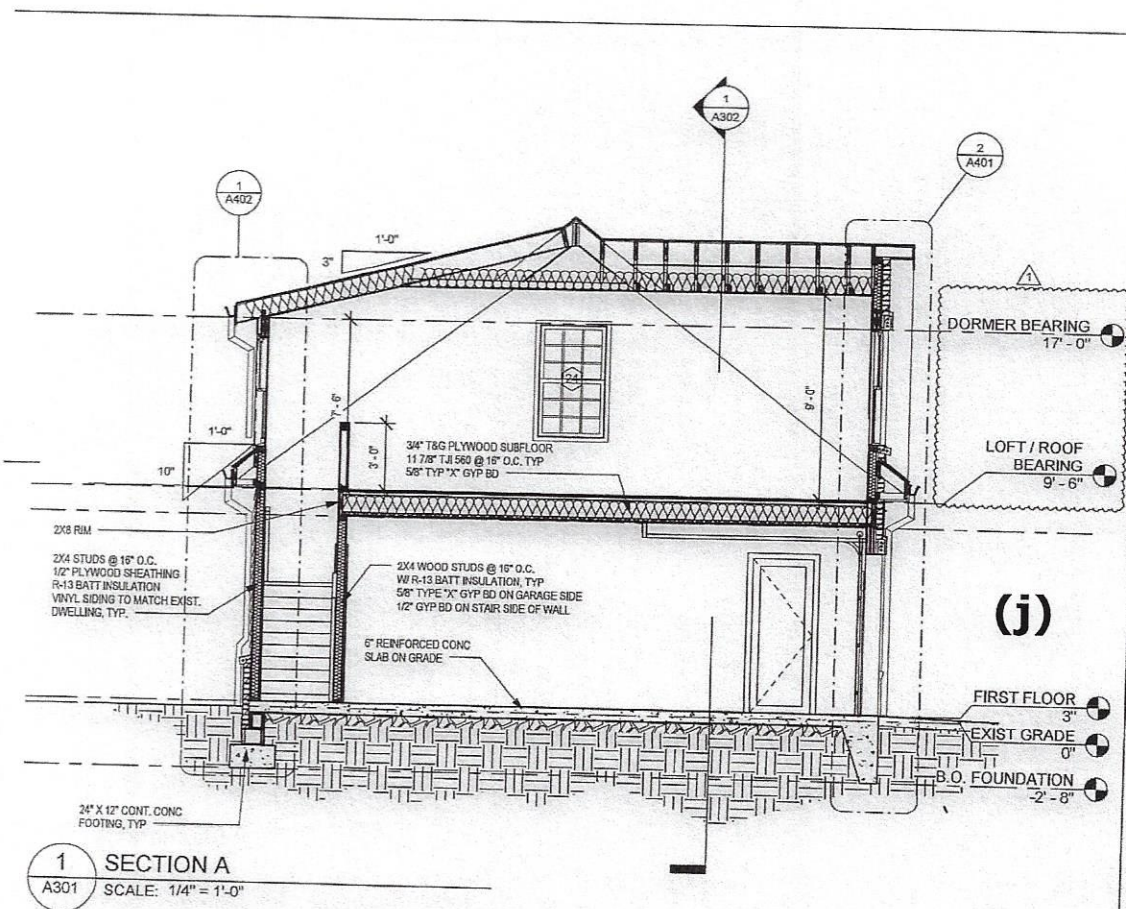
1/4" = 1'-0"

PROJECT NO.

20-3102

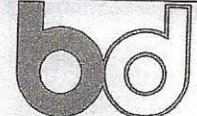
SHEET NO.

A204



APPROVALS

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 ☒ PERMIT
 ☐ BIDDING
☐ CONSTRUCTION

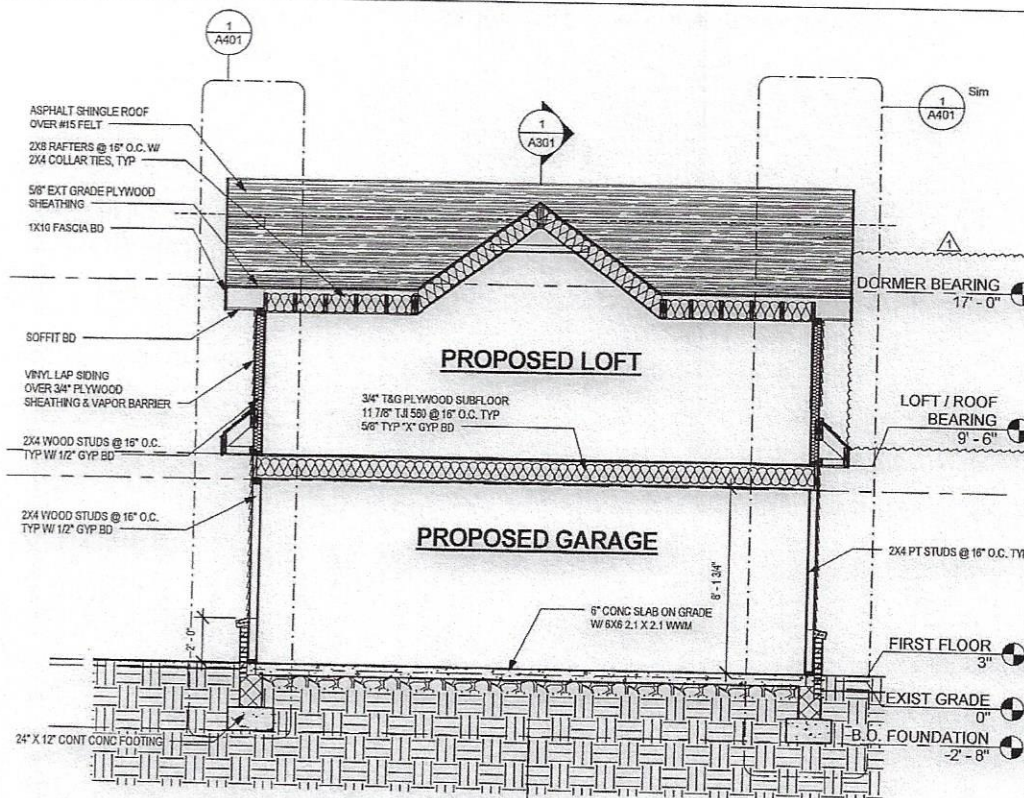
DRAWING TITLE

SECTION A

DATE
 05/12/2020
 SCALE
 1/4" = 1'-0"
 PROJECT NO.
 20-3102

SHEET NO.

A301



1 SECTION B
A302 SCALE: 1/4" = 1'-0"

(k)

APPROVALS

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ISSUED FOR

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☐ CONSTRUCTION

DRAWING TITLE

SECTION B

DATE

05/12/2020

SCALE

1/4" = 1'-0"

PROJECT NO.

20-3102

SHEET NO.

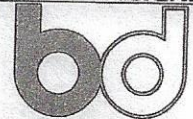
A302

A401

1 WALL SECTION A
A401 SCALE: 1/2" = 1'-0"

APPROVALS

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DRAWING TITLE

WALL SECTION

DATE

05/12/2020

SCALE

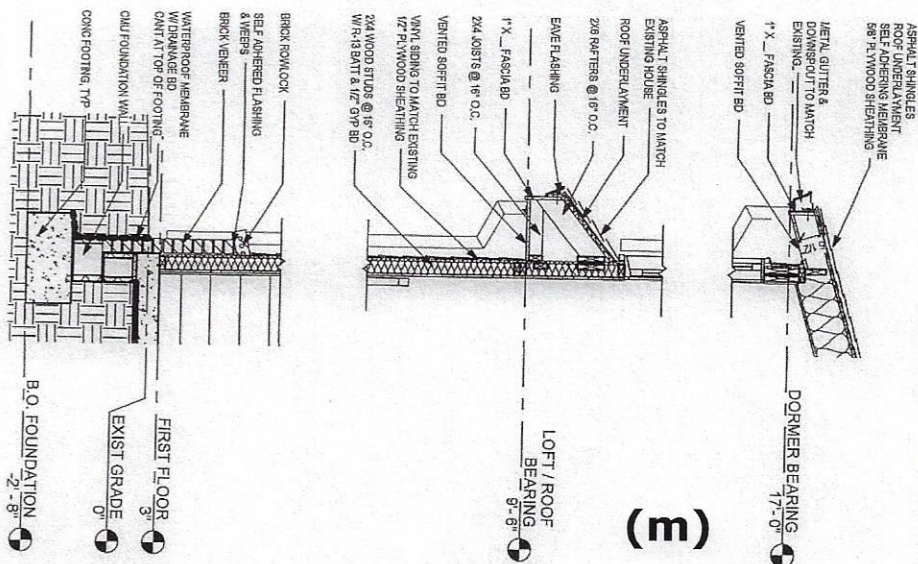
1/2" = 1'-0"

PROJECT NO.

20-3102

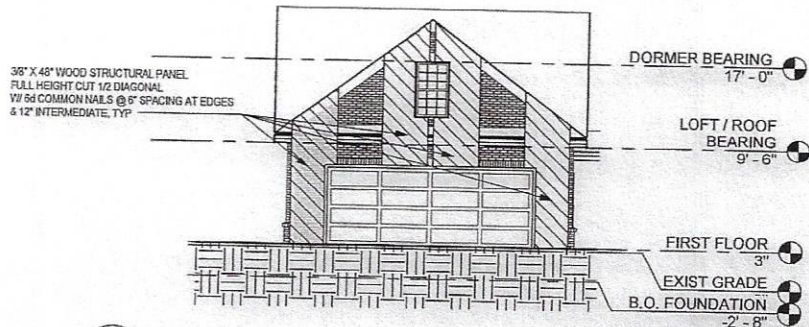
SHEET NO.

A402

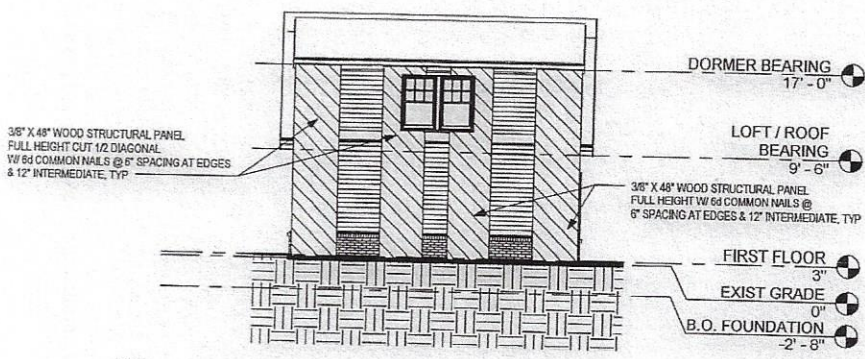


(m)

1 WALL SECTION C
A402 SCALE: 1/2" = 1'-0"



1 WIND BRACING - FRONT ELEVATION
A501 SCALE: 1/8" = 1'-0"



2 WIND BRACING - REAR ELEVATION
A501 SCALE: 1/8" = 1'-0"

(n)

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☐ CONSTRUCTION

DRAWING TITLE

WIND BRACING

DATE
05/12/2020

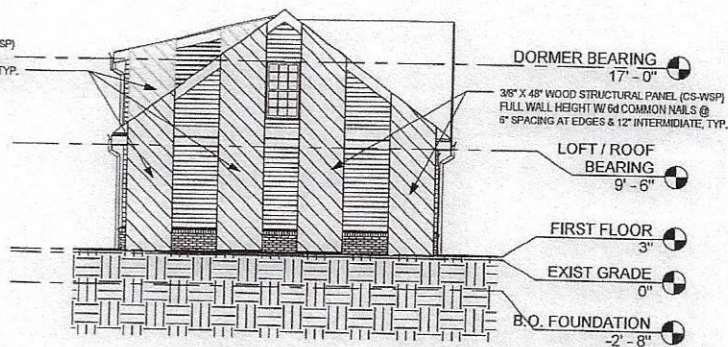
SCALE
1/8" = 1'-0"

PROJECT NO.
20-3102

SHEET NO.

A501

3/8" X 48" WOOD STRUCTURAL PANEL (CS-WSP)
FULL WALL HEIGHT W/ 6d COMMON NAILS @
6" SPACING AT EDGES & 12" INTERMEDIATE, TYP.



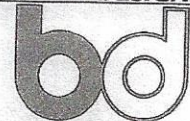
WIND BRACING - TYP SIDE ELEVATION

SCALE: 1/8" = 1'-0"

(o)

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☐ CONSTRUCTION

DRAWING TITLE

WIND BRACING

DATE

05/12/2020

SCALE

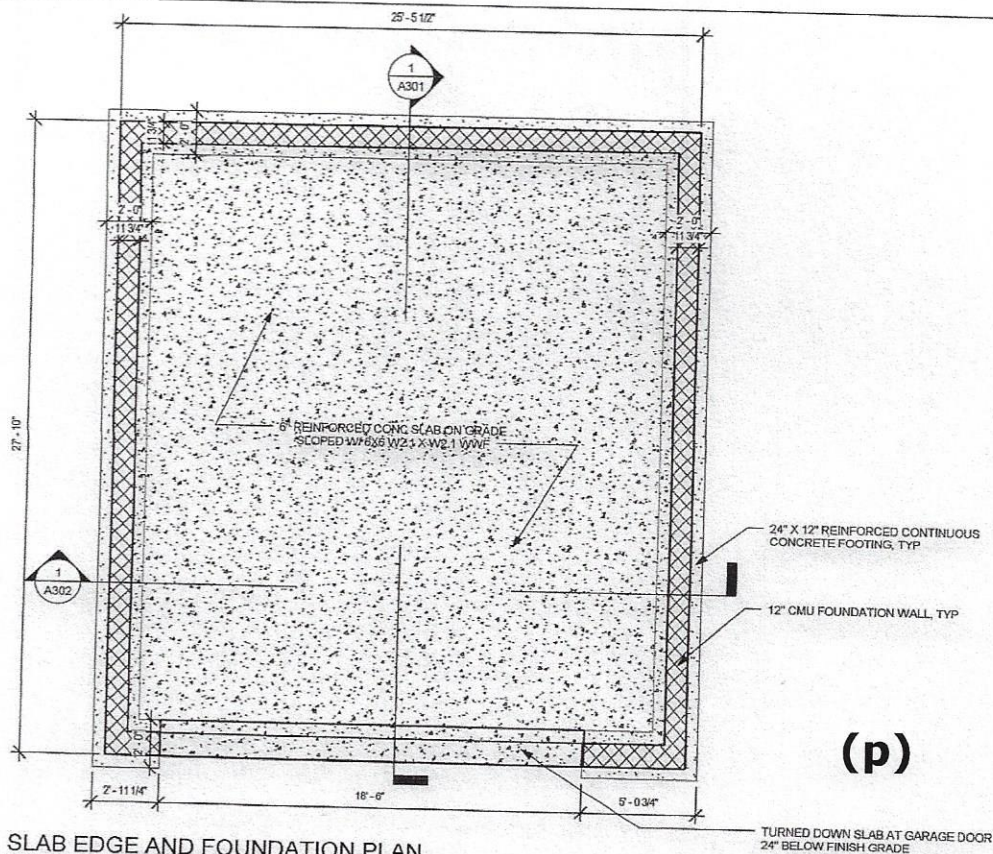
1/8" = 1'-0"

PROJECT NO.

20-3102

SHEET NO.

A502



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☐ CONSTRUCTION

DRAWING TITLE

SLAB / FOUNDATION

DATE
05/12/2020

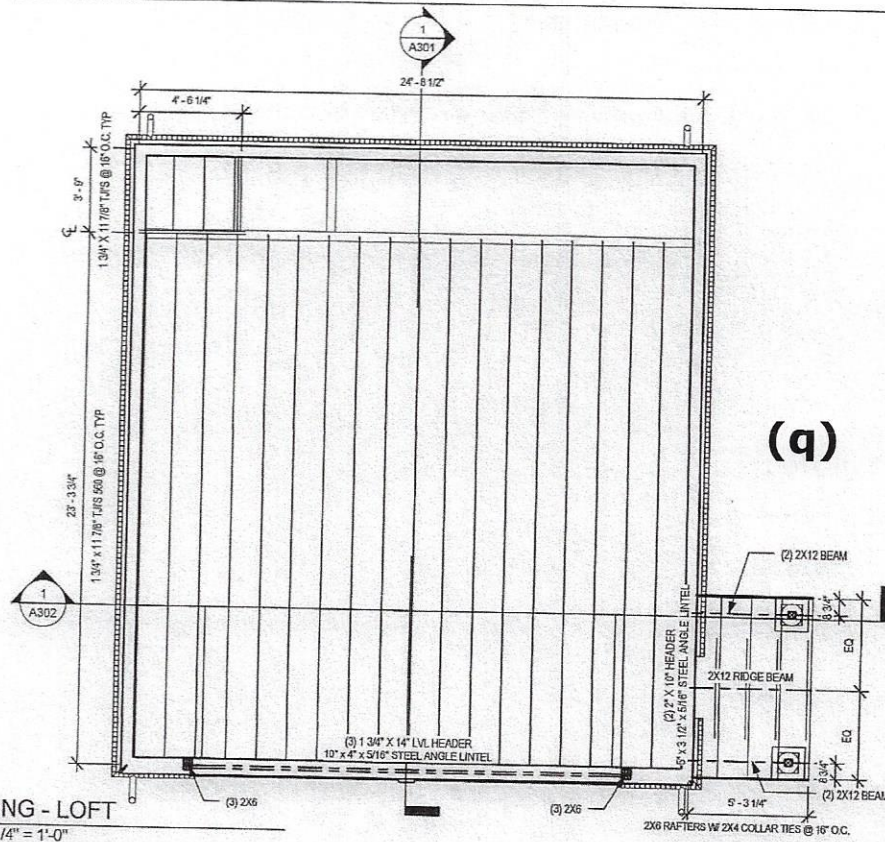
SCALE
1/4" = 1'-0"

PROJECT NO.
20-3102

SHEET NO.

S101

1
SLAB EDGE AND FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



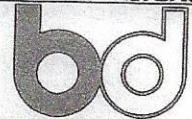
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S102

FRAMING - LOFT

SCALE: 1/4" = 1'-0"

APPROVALS

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☐ CONSTRUCTION

DRAWING TITLE

LOFT FRAMING

DATE

05/12/2020

SCALE

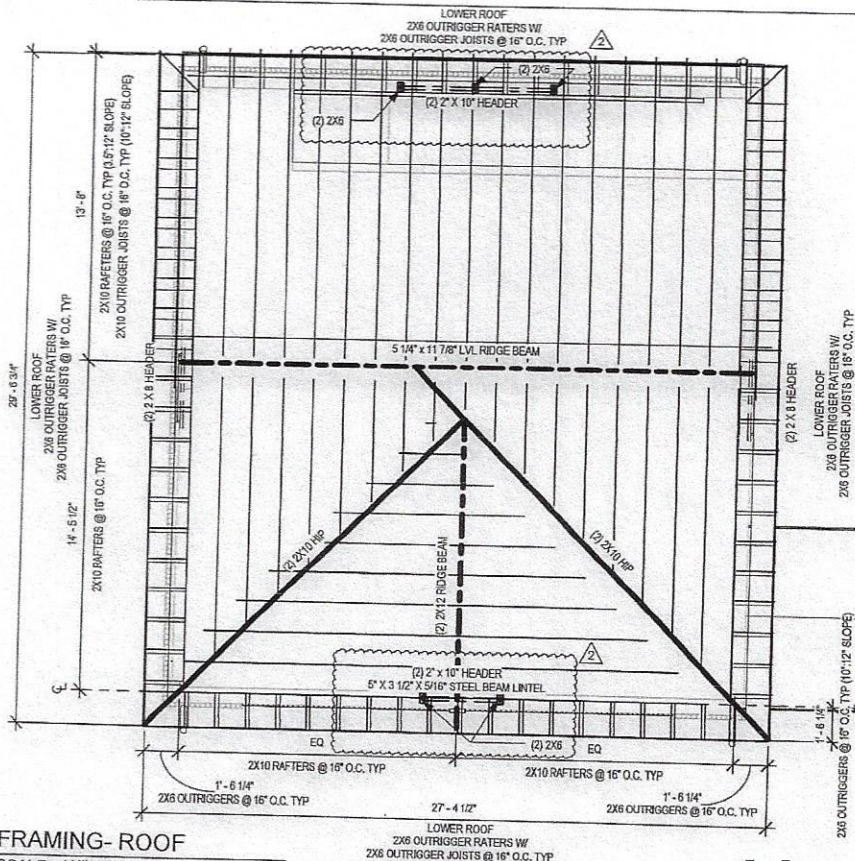
1/4" = 1'-0"

PROJECT NO.

20-3102

SHEET NO.

S102

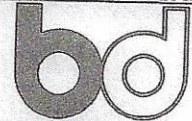


1 FRAMING- ROOF
S103 SCALE: 1/4" = 1'-0"

(r)

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☐ CONSTRUCTION

DRAWING TITLE

ROOF FRAMING

DATE

05/12/2020

SCALE

1/4" = 1'-0"

PROJECT NO.

20-3102

SHEET NO.

S103