



THE PRINCE GEORGE'S COUNTY GOVERNMENT

BOARD OF ZONING APPEALS

BOARD OF ADMINISTRATIVE APPEALS

COUNTY ADMINISTRATION BUILDING, UPPER MARLBORO, MARYLAND 20772
TELEPHONE (301) 952-3220

NOTICE OF FINAL DECISION

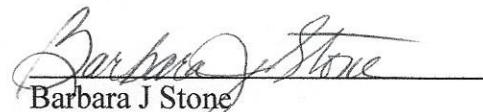
OF BOARD OF APPEALS

RE: Case No. V-34-21 Gary and Melanye Carroll

Enclosed herewith is a copy of the Board Order setting forth the action taken by the Board of Appeals in your case on the following date: July 14, 2021.

CERTIFICATE OF SERVICE

This is to certify that on 9/16/2021, the above notice and attached Order of the Board were mailed, postage prepaid, to all persons of record.



Barbara J. Stone
Administrator

cc: Petitioner
Adjoining Property Owners
M-NCPPC, Permit Review Section
DPIE/Building Code Official, Permitting

BEFORE THE BOARD OF APPEALS FOR PRINCE GEORGE'S COUNTY, MARYLAND
Sitting as the Board of Zoning Appeals

Petitioners: Gary and Melanye Carroll

Appeal No.: V-34-21

Subject Property: Lot 5, Block A, Westwood Subdivision, being 12610 Henderson Chapel Lane, Bowie,
Prince George's County, Maryland

Witness: Andre Burwell, Architect

Heard and Decided: July 14, 2021

Board Members Present and Voting: Bobbie S. Mack, Chairperson - Absent

Albert C. Scott, Vice Chairman - Present

Anastasia T. Johnson, Member - Present

RESOLUTION

This appeal is brought before the Board of Appeals, sitting as the Board of Zoning Appeals for the Maryland-Washington Regional District in Prince George's County, Maryland (the "Board"), requesting a variance from the strict application of the provisions of Subtitle 27 of the Prince George's County Code (the "Zoning Ordinance").

In this appeal, a proceeding pursuant to Section 27-229 of the Zoning Ordinance, Petitioners request that the Board approve a variance from Section 27-442(e)(Table IV) of the Zoning Ordinance, which prescribes that each lot shall have a side yard at least 8 feet in width¹. Petitioners propose to obtain a building permit for the construction of a two-car garage. A variance of 7 feet side yard width is requested.

Evidence Presented

1. The property was subdivided in 1996, contains 45,011 square feet, is zoned R-E (Residential Estate) and is improved with a single-family dwelling, driveway, gazebo and swimming pool. Exhibits (Exhs.) 2, 4, 7, 8 and 9 (A) thru (F).

2. The rear property line is subject to a Homeowners Association Maintenance Area /Landscape Conservation Easement. The front left side of the property, running along the driveway, consists of a portion of Storm Drain Right of Way. Exhs. 2, 4, 7, 8 and 9 (A) thru (F).

3. Petitioners propose to obtain a building permit for the construction of a two-car garage that meets the existing driveway on the left side. The left side yard setback from the proposed garage will be only 10 feet. Therefore, a variance of 7 feet left side yard setback is required. Exhs. 2, 4, 7, 8 and 9 (A) thru (F).

4. Andre Burwell stated that the proposed two-car garage will connect to the dwelling by a breezeway. The garage then becomes part of the main structure and is no longer an accessory building. Exh. 2.

5. He stated that all of the garages in the community are located in the side yard. He noted that placing the proposed garage any closer to the house would not be consistent with the location of garages on other properties in the community. Exh. 2, 3 (a) thru (r) and 5 (A) thru (L).

6. He explained that the proposed garage cannot be placed in the rear yard as there is an existing gazebo and pool in the back yard and 30% of the rear yard is covered by a landscape buffer. Exh. 2, 3 (a) thru (r) and 5 (A) thru (L).

7. He testified that the second floor of the garage is dead space storage.

¹ It was incorrectly noted in the Hearing Notice that the required side yard setback is 8 feet. Pursuant to 27-442(e)(Table IV) of the Zoning Ordinance, in the R-E Zone, the side yard requirement is 17 feet. Because of the 10 feet side yard location of the proposed garage, a variance of 7 feet is still required. Exh. 2.

Applicable Code Section and Authority

Section 27-230 of the Zoning Ordinance authorizes the Board to grant variances when, by reason of exceptional narrowness, shallowness, shape, topography, or other extraordinary situation or condition of specific parcels of property, the strict application of the Zoning Ordinance would result in peculiar and unusual practical difficulties or an exceptional or undue hardship upon the owner of the property, provided such relief can be granted without substantial impairment of the intent, purpose and integrity of the General Plan or Master Plan.

Findings of the Board

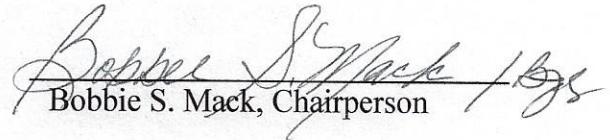
After hearing all the testimony and reviewing the evidence of record, the Board finds that the requested variance complies with the applicable standards set forth in Section 27-230, more specifically:

Due to the location of the preexisting driveway on the left side leading to the proposed garage, the neighborhood location of garages in the side yards, the location of an existing gazebo and swimming pool prohibiting the location of the proposed garage in the (back side) and rear yards, the property consisting of 30% Conservation Landscape Buffer in the rear yard, and granting the relief requested would not substantially impair the intent, purpose and integrity of the General Plan or Master Plan, and denying the request would result in a peculiar and unusual practical difficulty upon the owners of the property.

BE IT THEREFORE RESOLVED, by majority vote, Ms. Bobbie Mack absent, that a variance of a variance of 7 feet side yard width in order to obtain a building permit for the construction of a two-car garage with breezeway on the property located at 12610 Henderson Chapel Lane, Bowie, Prince George's County, Maryland, be and is hereby APPROVED. Approval of the variance(s) is contingent upon development in compliance with the approved site plan, Exhibit 2 and approved elevation plans, Exhibits 3 (a) thru (r).

BOARD OF ZONING APPEALS

By:

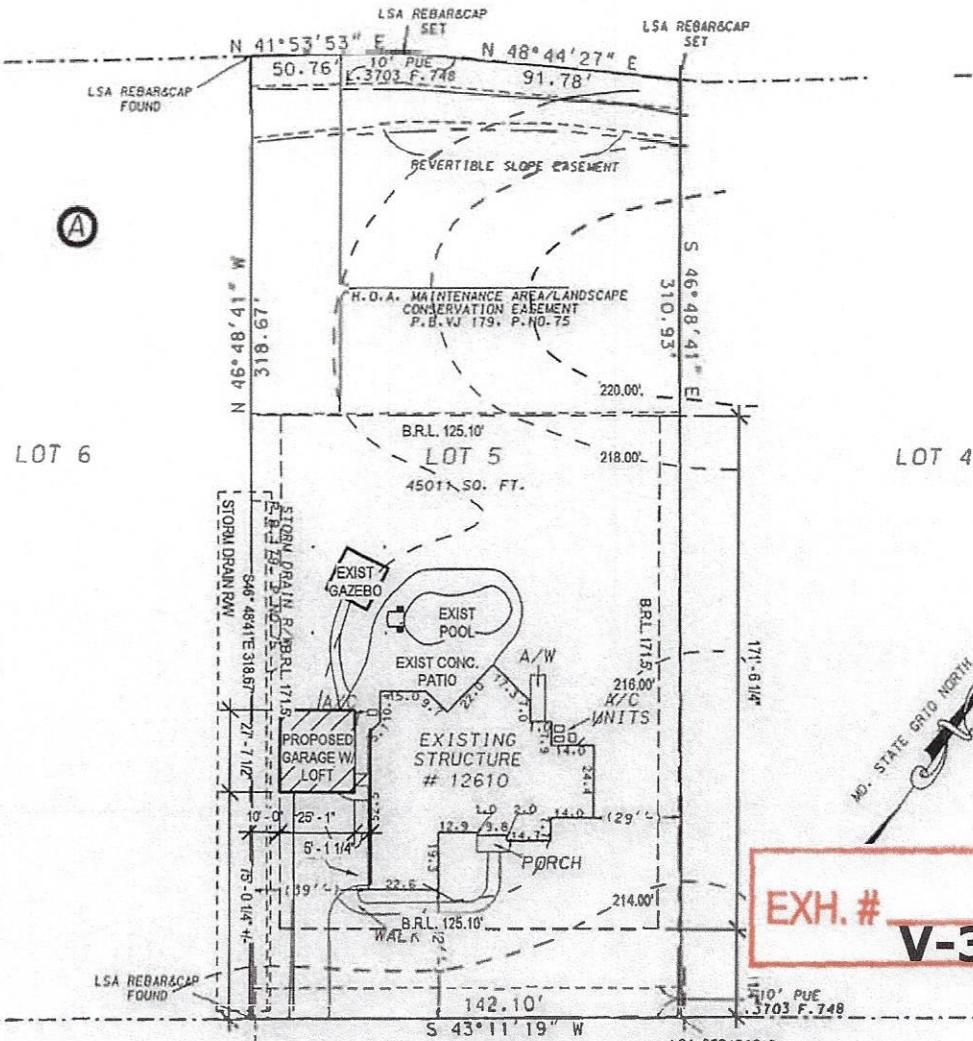

Bobbie S. Mack, ChairpersonNOTICE

Within thirty (30) days from the date of this decision, any person, firm, corporation, or governmental agency who was a party to the Board's proceedings and is aggrieved by its decision may file an appeal to the Circuit Court of Prince George's County.

Further, Section 27-233(a) of the Prince George's County Code states:

A decision of the Board, permitting the erection of a building or structure, shall not be valid for more than two (2) years, unless a building permit for the erection is obtained within this period and the construction is started and proceeds to completion in accordance with the terms of the decision and the permit.

MD. RTE. 450
(VARIABLE WIDTH R/W)



EXH. # 2
V-34-21

HENDERSON CHAPEL LANE
(50' R/W)

BUILDING SETBACKS AS LISTED ON
APPROVED SITE DEVELOPMENT PLAN:

FRONT = 25'
SIDE = 8' MINIMUM 17' TOTAL
REAR = 20'

THE PROPERTY SHOWN HEREON IS LOCATED
IN ZONE C (AREA OF MINIMAL FLOODING)
ACCORDING TO NATIONAL FLOOD INSURANCE
PROGRAM F.I.R.M. MAP COMMUNITY PANEL
NO. 245208-003SC AS REVISED 6-18-87.



LEGEND

A	= ARC LENGTH
A/W	= AREAWAY
B/W	= BAY WINDOW
W/W	= WINDOW WELL
D/W	= DRIVEWAY
A/C	= AIR CONDITIONER
R	= RADIUS LENGTH
R/W	= RIGHT-OF-WAY
P.U.E.	= PUBLIC UTILITY EASEMENT
WSSC	= WASHINGTON SUBURBAN SANITARY COMMISSION
O.H.	= OVERHANG

LOCATION DRAWING

PLEASE NOTE:
1) DIMENSIONS SHOWN WITHIN "()" ARE COMPUTED TO AN ACCURACY OF PLUS OR MINUS ONE FOOT.
2) NO TITLE REPORT FURNISHED. SUBJECT TO ANY AND ALL EASEMENTS, RIGHTS-OF-WAY AND COVENANTS OF RECORD.
3) THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY, INSO FAR AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE
COMPANY OR ITS AGENTS IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING OR REFINANCING.
4) THIS PLAT IS NOT TO BE RELIED UPON FOR THE CONSTRUCTION OF FENCES, GARAGES, BUILDINGS OR FUTURE
IMPROVEMENTS.
5) THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH
IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING.
6) EXISTING VEGETATION OR VEGETATIVE IMPROVEMENTS HAVE NOT BEEN LOCATED OR IDENTIFIED AS PART OF THIS
SURVEY.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT OF THE PROPERTY SHOWN ABOVE, DESCRIBED AS LOT 5 BLOCK A
PLAT ONE WESTWOOD

AND RECORDED IN PLAT BOOK VJ179 ON PLAT NO. 75 AMONG THE LAND RECORDS OF PRINCE GEORGE'S
COUNTY, MARYLAND, WAS PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE,
INFORMATION AND BELIEF THAT, UNLESS OTHERWISE SHOWN, THERE WERE NO VISIBLE ENCROACHMENTS FOUND ACROSS
THE PROPERTY LINES AND THAT THE EXISTING IMPROVEMENTS WERE ESTABLISHED BY ACCEPTABLE SURVEYING PRACTICES.

John W. Kostic, Property Line Surveyor, MD, Reg. No. 473

Date

Job No.	202-05-01
Scale	1" = 50'
WALL CHECK	
Date	10-22-02
Drawn	T. STEWART
Checked	DAH
FINAL	
Date	1-23-03
Drawn	D. HINCH
Checked	JMS



1390 Piccard Drive
Rockville, Maryland 20850
(301) 948-2750

LOIEDERMAN SOLTESZ ASSOCIATES
4266 Forbes Boulevard
Lanham, Maryland 20706
(301) 794-7555

7 North Market Street
Frederick, Maryland 21701
(301) 696-1240

6E Industrial Park Drive
Waldorf, Maryland 20602
(301) 870-2168

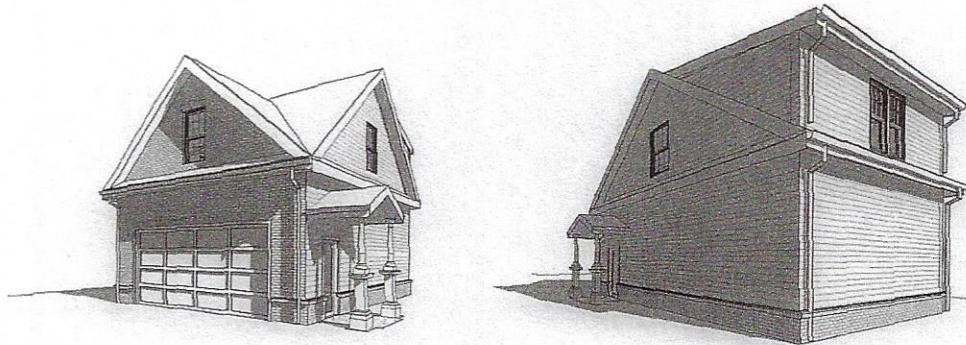
RECYCLABLE
If printed on
xerographic bond paper

APPROVED JUL 14 2021

[Signature]
ADMINISTRATOR

BOARD OF APPEALS

**12610 HENDERSON CHAPEL LN, BOWIE, MD 20720
PROPOSED DETACHED TWO CAR GARAGE**



CODE REVIEW BASED ON THE BELOW APPLICABLE CODES:
BUILDING: IBC 2018/PRINCE GEORGE'S COUNTY BUILDING CODE, SUBTITLE A
MECHANICAL: PRINCE GEORGE'S COUNTY MECHANICAL CODE, SUBTITLE A
DRAINAGE: 2018 INTERNATIONAL DRAINAGE CODE
ELECTRICAL: 2018 INTERNATIONAL ELECTRICAL CODE, SUBTITLE B
FIRE: 2018 INTERNATIONAL FIRE CODE, SUBTITLE 1
STRUCTURAL: IBC 2018

BUILDING INFORMATION

LOT 5, BLOCK A, WESTWOOD

PROPOSED: PROPOSED 22'0" x 22'0" TWO CAR GARAGE

BUILDING ZONE: RE

LOT COVERAGE:

LOT AREA: 45,011 SQFT

STRUCTURE AREA: 164 SQFT / 119 SQFT (ALL STRUCTURES)

LOT COVERAGE NO:

100%

LOT COVERAGE ALLOWANCE:

30%

BUILDABLE AREA REDUCTION:

ALLOWED: 25'-0" EXISTING: 25'-0" PROPOSED:

FRONT YARD: 20'-0" UNCHANGED (20' MIN ALLOWED)

REAR YARD: 20'-0" UNCHANGED (20' MIN ALLOWED)

SIDE YARD: 8'-0" / 10'-0" 8'-0" / 10'-0"

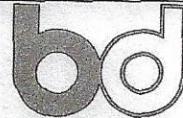
PROPOSED BUILDING HEIGHT: 25'-4" ABOVE AVERAGE GRADE (25' ALLOWED)

(a)

EXH. # 3(a-r)
V-34-21

APPROVALS

BURWELL DESIGNS LLC



Architecture, Interiors, Planning, CAFM/CADD
4417 HAVELOCK RD, LANHAM, MARYLAND 20706
www.burwelldesignsllc.com

PROJECT

**PROPOSED
GARAGE**

12610 HENDERSON CHAPEL LN
BOWIE, MD 20720

ISSUED FOR

PROGRESS PERMIT BIDDING
 CONSTRUCTION

DRAWING TITLE

COVERSHEET

DATE
05/12/2020

SHEET NO.

G001

DRAWING INDEX	
SHEET NO.	SHEET TITLE
A001	COVERSHEET
A002	GEN. NOTES
A003	DATE PLAN
A004	GENERAL/STRUCTURAL
A101	1ST FLOOR PLAN
A102	LOFT/FLOOR PLAN
A103	ROOF PLAN
A201	REAR ELEVATION
A202	FAUX ELEVATION
A203	EAST ELEVATION
A204	WEST ELEVATION
A301	SECTION A
A302	SECTION B
A401	WALL SECTIONS
A402	WALL SECTION
A501	STRUCTURAL
A502	SLAB FOUNDATION
A503	LOFT FRAMING
A504	ROOF FRAMING

BOARD OF APPEALS

APPROVED JUL 14 2021

By Stone *3(a-r) attached*
ADMINISTRATOR

INSTRUCTIONS TO CONTRACTORS

- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO ORDERING MATERIAL AND COMMENCING THE WORK.
- ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER. NO SMOKING SHALL BE ALLOWED IN THE WORK AREA. CIGARETTE BUTTS TO BE CLEANED EACH DAY. NO SMOKING IN THE CLEAN, HOUSE TO BE SUSPENDED, EACH DAY AT END OF DAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROFESSIONAL CLEANING AFTER DEMOLITION, CARVING AND AT COMPLETION OF PROJECT. CONTRACTOR TO PAY FOR COST OF PROFESSIONAL CLEANING AND CLEAN UP OF PROJECT.
- THE STORAGE OF CONSTRUCTION MATERIALS SHALL BE IN AN AREA DESIGNATED BY THIS OWNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THE PLANS AND SPECIFICATIONS TO ACCOMPLISH THE INTENT OF THE PLANS. PLANS INDICATE THE EXTENT, GENERAL CHARACTER, AND LOCATION OF THE WORK. CONTRACTOR SHALL SHOW SHALL BE PERFORMED COMPLETE TO PERFORM THE FUNCTIONS INTENDED.
- ALL NECESSARY PERMITS AND WALL CHECKS SHALL BE SECURED AND PAID FOR BY THE GENERAL CONTRACTOR.

SITE WORK

- CONTRACTOR SHALL BE RESPONSIBLE FOR DUGGING THE DIRT AND VERIFYING ALL EXISTING CONDITIONS AND CHECK IN FIELD PRIOR TO POURING CONCRETE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING FINISHED GRADE AND INSTALLING SEED AND STRAW ON ALL DESTROYED GRASS AREAS.
- CONTRACTOR SHALL REMOVE ALL EXCAVATED DIRT FROM SITE, OTHER THAN THAT REQUIRED FOR BACKFILL AND FOR RAISING GRADE AS SHOWN ON DRAWINGS.

CONCRETE FOOTINGS & PIERS

- ALL FOOTINGS SHALL BEAR A MINIMUM OF 12" INTO SOIL, UNDISTURBED SOIL. ALL FOOTINGS SHALL BEA A MINIMUM OF 2" BELOW FINISHED GRADE.
- ALL CONCRETE WORK SHALL CONFORM TO THE ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-02). ALL CONCRETE WORK SHALL HAVE A CUBE COMpressive STRENGTH OF 3,500 PSI. CONCRETE EXPOSED TO WEATHER SHALL BE RATED AS EXPOSED CONCRETE PER ACI FOR SEVERE EXPOSURE.
- CONCRETE FOOTINGS TO BE 20" DIAMETER, 20" IN DIAMETER, WITH 2 2x6 CONTINUOUS, WITH ONE END TIED TO A 1/2" DIA. 6 C.C. INTO BLOCK. CELL - DRILL THIS HOLE IN CONCRETE.
- FOOTING TOPPING TO BE 4" THICK, 20" DIAMETER, 20" IN DIAMETER, WITH 2 2x6 CONTINUOUS, WITH ONE END TIED TO A 1/2" DIA. 6 C.C. INTO BLOCK. CELL - DRILL THIS HOLE IN CONCRETE.

FIRE PROTECTION

- ALL SMOKE ALARMS SHALL BE PLACED IN EACH SLEEPING ROOM AND IN THE IMMEDIATE VICINITY OF THE BEDROOMS. SMOKE ALARMS SHALL BE PLACED WHEN THERE IS MORE THAN ONE FIRE ALARM THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE HOUSE. AN ACTIVATED ALARM SHOULD BE AUDIBLE IN ALL ROOMS OVER BACKGROUND NOISE.

CODE

APPLICABLE CODE	INTERNATIONAL RESIDENTIAL CODE 2015- MARYLAND COUNTY, MARYLAND
Soil Load	Shallow foundation of Table 301.4
Roof Load	Table 301.2 (9) - 14 lbs. Per sf.
Greatest Snow Load	30.0 - 30.9" (1.41 N/mm ²)
Wind Load	30.2 (11) - 40.0 (15.6 N/m ²)
Seismic Design Cat.	30.2 (1) - Category B
Skid Thrust Endure	R42 - Euclidean R/C22.2 Ceiling w/o abcs
Soil Bearing Capacity	R40.4.1 - 1300 psf
SELECTED DATA FROM	
Weathering	Severe
First Low Depth	24" (60cm)
Deeby Protection	Shallow to Moderate
Max. Wind Speed	137 F (58.0 C)
Wind Speed Temp.	144
Ice Shield	Underground Refrig
Plumb Line	1A-2, 1B-5
Air Freezing Index	322
Mean Annual Temp.	55.1 (12.6 C)

WOOD FRAMING

- FRAMING FOR INTERIOR REACH CARPENTRY, FRAMING, BLOCKING, ROUGH BLOCKS, ETC. SHALL BE 2x6 LUMBER. ALL FRAMING SHALL BE YELLOW PINE - NUMBER 2 OR BETTER OR EXTERIOR FRAMING LUMBER TO BE NON-FASING PREDOMINANTLY PINE. ALL FRAMING, NAILS, AND HANGERS APPROVED FOR USE IN WIND TREATED LUMBER.
- JOIST AND RAFTERS SHALL BE OF SIZES AND SPACINGS AS SHOWN ON THE DRAWINGS AND SHALL BE PROPERLY SPACED OR INTERVALS NOT TO EXCEED 4'4" O.C.
- FURRING STRIPS, GROUTING, NAILING STRIPS, ETC. SHALL #2 TONGUE AND GROOVE OR SPACED.
- ALL EXTERIOR W/H FRAMING SHALL BE INSPECTED WITH 2x4 LUMBER. ALL FRAMING SHALL BE STRAIGHT, PLUMB AND SQUARE. ANY FRAMING THAT IS NOT SHALL BE TRIMMED PRIOR TO DRYWALL.
- ROOF SHEATHING TO BE 5/8" OSB, W/ 16 GA. GALVANIZED NAILS. SHEATHING TO BE SHIMMED, PLUMB AND GROOVE C18, SCHEDUL 40 GLUED. EXTERIOR WALLS TO BE 2x4 WOOD STUDS, 16" O.C. (2x4) OR 2x6 WOOD STUDS, 16" O.C. WHERE NO BEARING. 16" O.C. WHERE BEARING. UNLESS IS NOTATED OTHERWISE.
- ALL WOOD FRAMING TO HAVE DOUBLE 2x6 SILL PLATES. ALL SILL PLATES TO BE 2x6 JACKS. SILL PLATE ON FOUNDATION WALLS TO BE CONTINUOUS & PRESSURE TREATED, COMPLETE WITH A 1/2" WIDE METAL SHIELD.
- CONTRACTOR SHALL BE RESPONSIBLE WITH DRIP DRAMMING FOR MANUFACTURED SODDED TRIM FOR REVEN, PRIOR TO POURING - 18"X25' TO THE REVEN, AND TO MATCH THE EXISTING EXTERIOR TRIM. OUTSIDE TRIMMING TO BE SET UP FOR OUTSIDERS TO MATCH EXISTING DETAILS.
- MICROFLAMMABLE SHELL HAVE MIL-F-26009 AND E-13000072.

MOISTURE PROTECTION/ INSULATION

- FLASHING TO BE PAINTED ALUMINUM TO MATCH EXTERIOR TRIM COLOR.
- GUTTERS AND DOWNDRAINS TO MATCH EXISTING - END CAPS TO EXISTING DRAWDROPS - DOWNDRAINS TO MATCH EXISTING DRAWDROPS. INSTALL OR CLOSE TO MATCH EXISTING.
- SHINGLES TO MATCH EXIST ASPHALT SHINGLES WITH ALUMINUM CORP EDGE AND 30# BLDG. FELT. ALUMINUM CORP ROOF WITH 30# VNL. DIMINISHING SHINGLES.
- ISULATION: SHALEE PAPER FACED FIBER GLASS ISULATION IN NEW PAMENT CEILING TO BE 3/4" (19mm).
- CALK ALL JOINTS IN THE EXTERIOR OF THE BUILDING INCLUDING JOINTS BETWEEN WINDING, SIGHT GLASS DOORS, AND OTHER UNIT FRAMES. ALSO, JOINTS BETWEEN DOOR AND RONK, CALKING BY PVC OR CAP.
- CONTRACTOR TO WRAP ALL SHEATHING IN VAPOR BARRIER ONCE SHEATHING IS INSTALLED.

WINDOW, SCREENING, AND GLASS DOORS

- WINDING TO BE RELI. LOW-E, WHITE GLASS EXTERIOR WITH PRIMED INTERIOR - NO MOUNTS, DECORATIVE TRIM, ETC. TO BE INSULATED, COMPLETE WITH SIGHT GLASS AND SCREENS.
- CONTRACTOR TO INSTALL SIGHT GLASS AS PER MANUFACTURER'S INSTRUCTIONS. COMPLETE WITH FLASHING AT ALL FRAMING.

DRYWALL WORK

- GYPSUM WALLBOARD SHALL BE U.S. GYPSUM CO. OR NATIONAL GYPSUM CO. ROUNDED TAPERED EDGE TYPE 5/8" THICK OR OTHERWISE NOTED.
- INSIDE WALL WORK AS PEGD. FOR EXTERIOR WALLS IN AREAS OF STRUCTURAL WORK IN BASEMENT.

ELECTRICAL

- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2014 NATIONAL ELECTRICAL CODE AND LOCAL CODES.
- CONTRACTOR TO INSTALL SMOKE DETECTORS IN ALL BEDROOMS AND AS REQUIRED BY CODE IN OTHER COMMON AREAS.

- CONTRACTOR TO INCLUDE ALL LABOR AND MATERIALS FOR ALL ELECTRICAL WORK, AND FOLLOW UP TO PROVIDE ALL ELECTRICAL SERVICE FROM THE LOCAL ELECTRICAL SERVICE PROVIDER ENGINEERING SERVICE.

- ALL PROCESS AND UNDER CABINET LIGHTING FEATURES SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR TO INCLUDE ALL PROCESS AND UNDER CABINET LIGHTING UNLESS NOTED. SEE ELECTRICAL PLANS FOR SPECIFICATIONS. CONTRACTOR TO INCLUDE ALL LIGHTING AND LIGHT FIXTURES. CONTRACTOR TO INCLUDE ALL RECESSIONS, ALLOWANCE OF 5 ALLOWS FOR SIGHTS SELECTED FEATURES WHICH HAVE NOT YET BEEN SELECTED.

- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LIGHTING FEATURES FROM TO INSTALLATION OF ALL ELECTRICAL DUCTS IN ORDER TO AVOID CONFLICT.

- ALL RECESSION LIGHTS SHALL BE DIMMABLE.

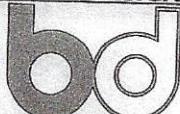
- STEEL W/FLANGE SHAPES SHALL CONFORM TO ASTM SPEC. A36, TYPE C, GRADE 50. ALL OTHER STEEL TO CONFORM TO ASTM D40, A36.

- CONNECTIONS OF STEEL TO STEEL SHALL BE BY WELDING OR BOLTING.

- ALL STRUCTURAL STEEL SHALL BE SHOP PAINTED WITH PRIMER AND/OR PRIMER.

APPROVALS

BURWELL DESIGNS LLC



Architecture, Interiors, Planning, CAFM/CADD
4417 HAVELOCK RD, LANHAM, MARYLAND 20706
www.burwelldesignsllc.com

PROJECT

PROPOSED GARAGE

12610 HENDERSON CHAPEL LN
BOWIE, MD 20702

ISSUED FOR

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DRAWING TITLE

GEN. NOTES

DATE
05/12/2020

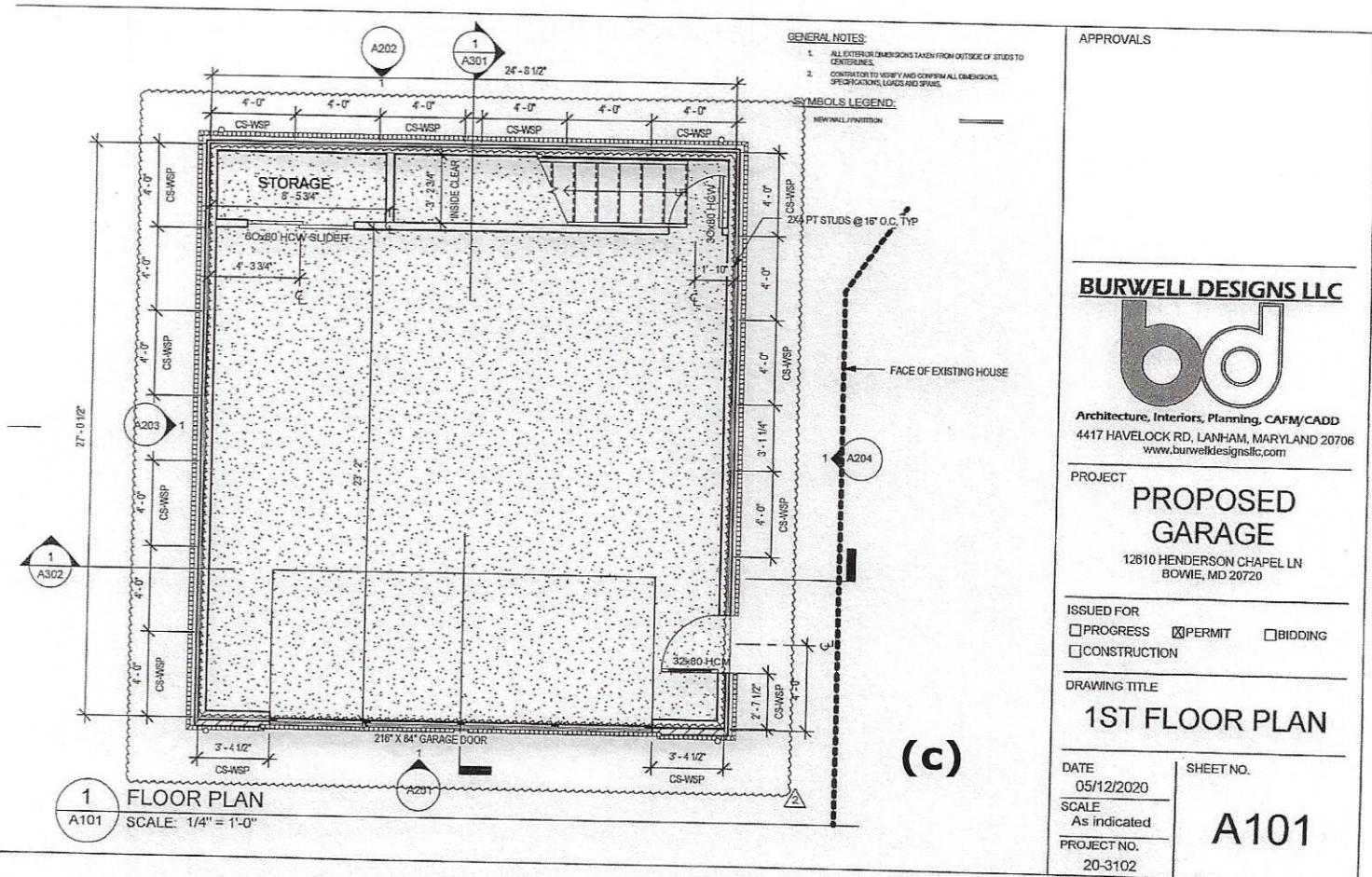
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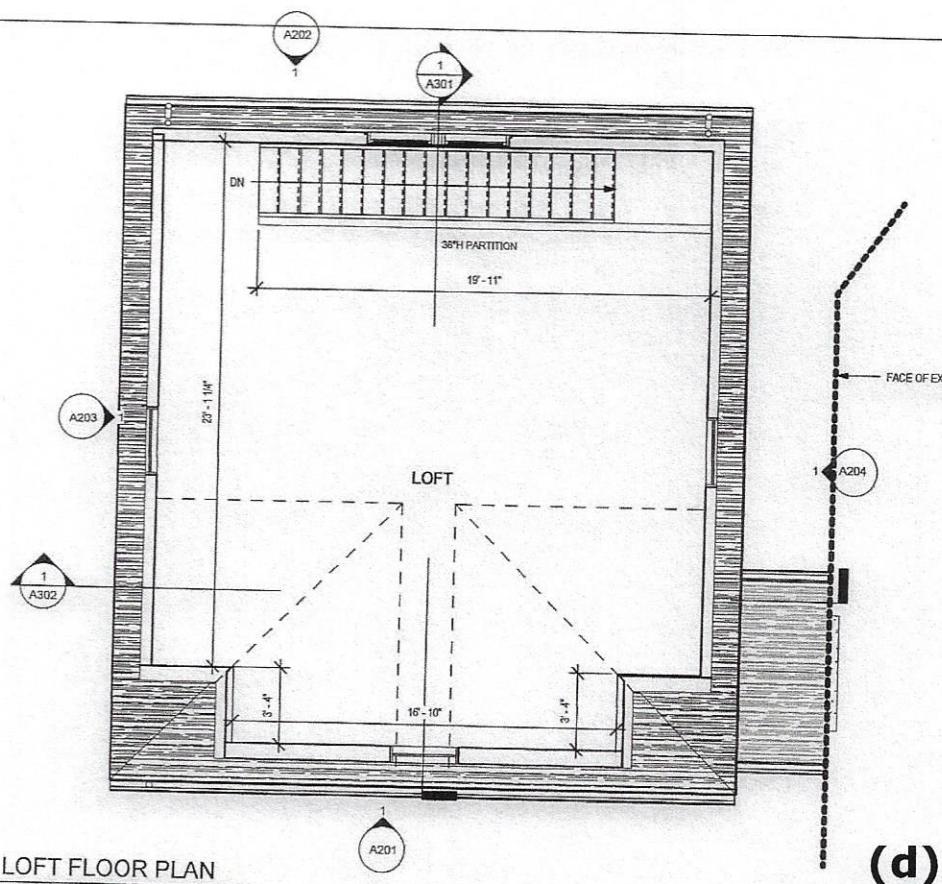
SCALE
6' = 1'-0"

PROJECT NO.
20-3102

G101

(b)





1
A102 LOFT FLOOR PLAN
SCALE: 1/4" = 1'-0"

APPROVALS

BURWELL DESIGNS LLC



Architecture, Interiors, Planning, CAFM/CADD
4417 HAVELOCK RD, LANHAM, MARYLAND 20708
www.burwelldesignsllc.com

PROJECT

**PROPOSED
GARAGE**

12610 HENDERSON CHAPEL LN
BOWIE, MD 20720

ISSUED FOR
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LOFT FLOOR PLAN

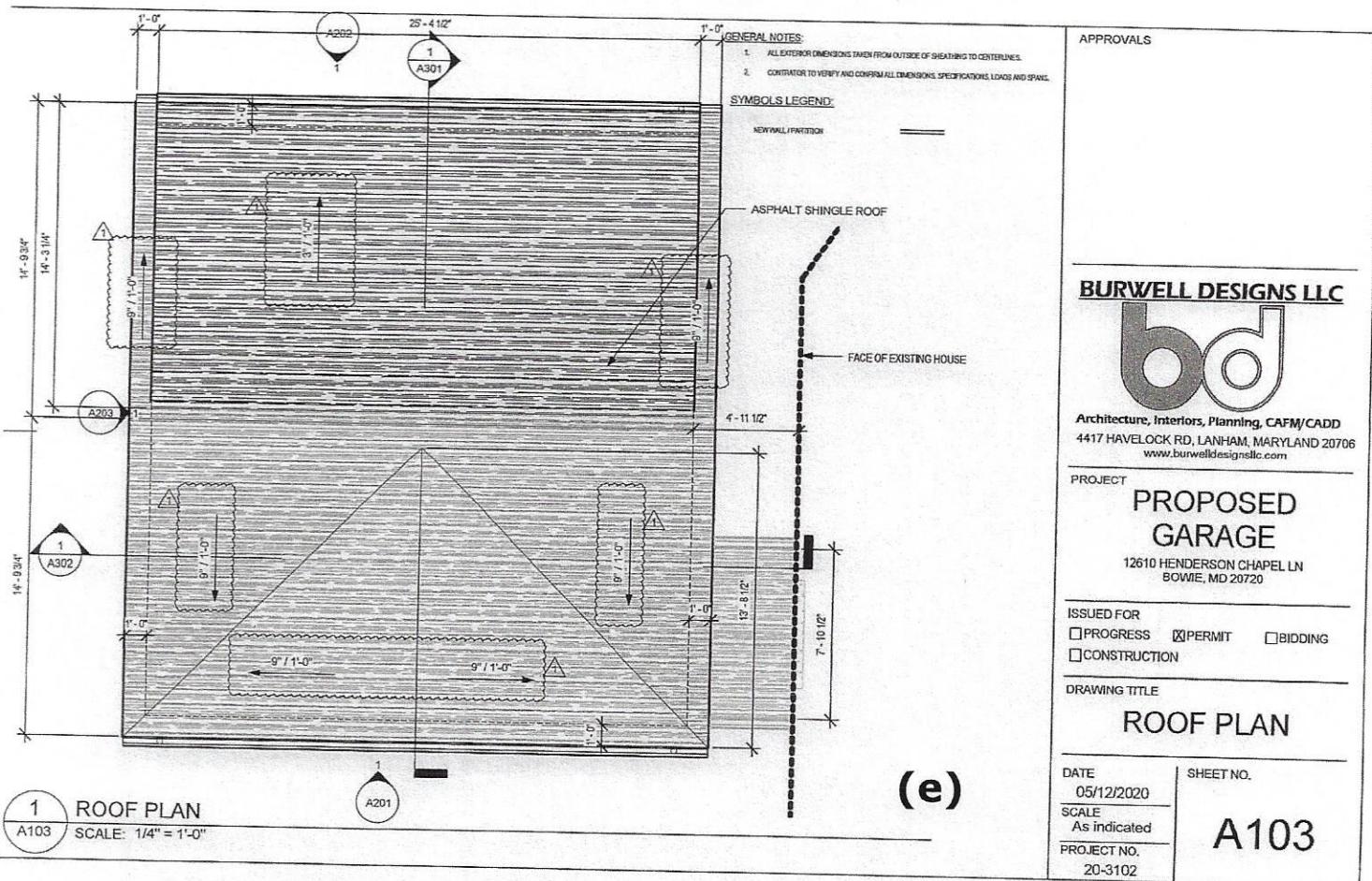
DATE
05/12/2020

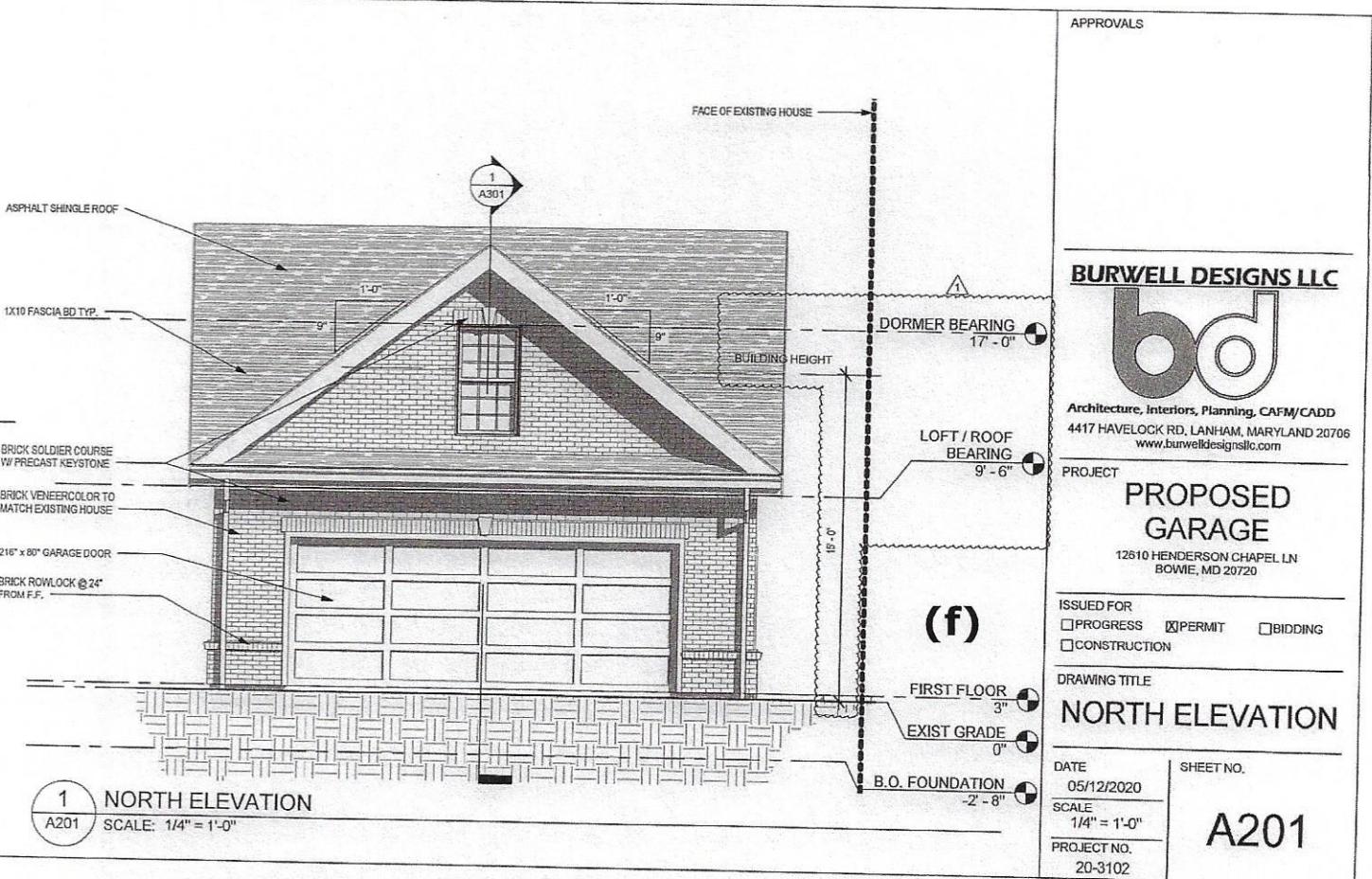
SCALE
1/4" = 1'-0"

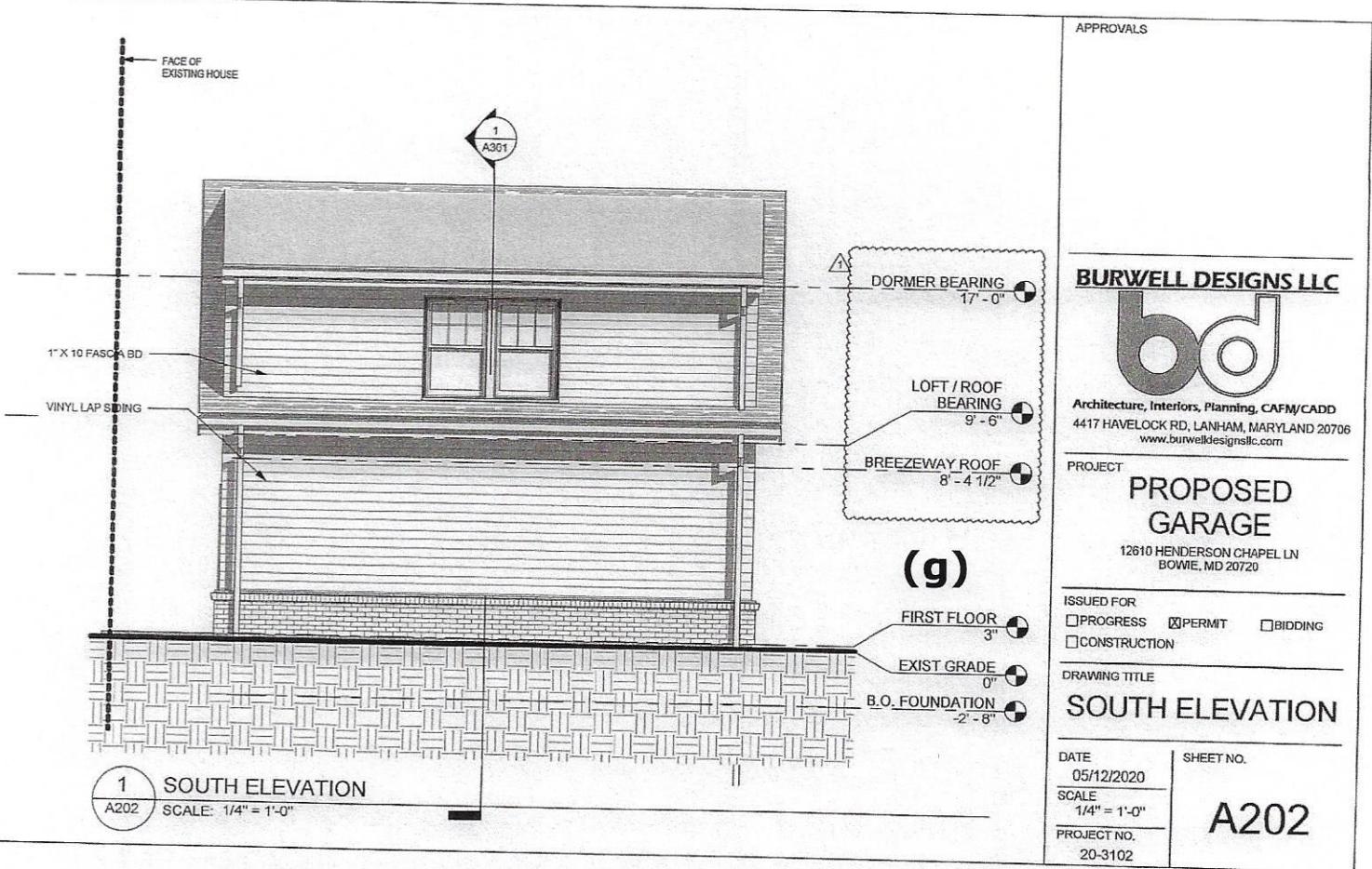
PROJECT NO.
20-3102

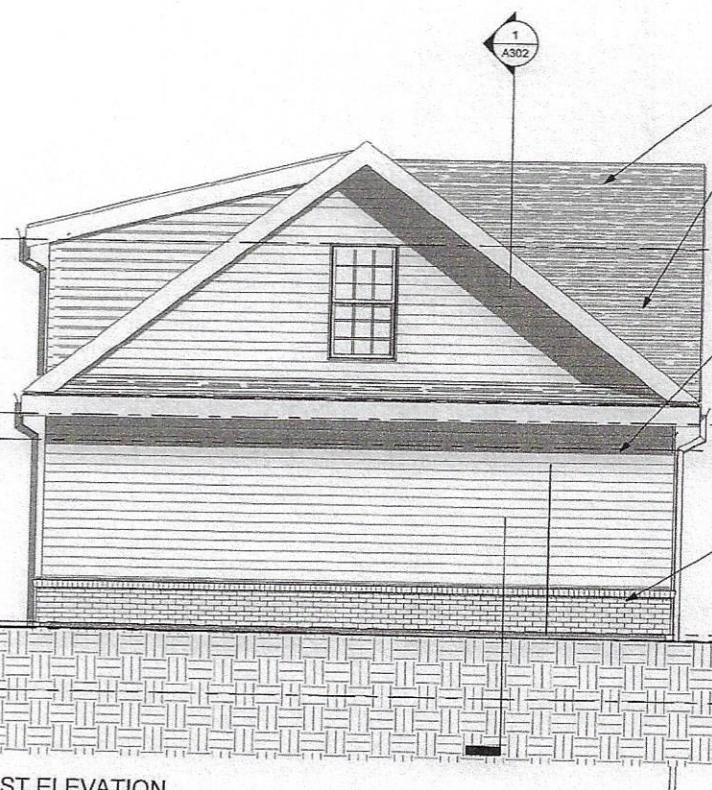
SHEET NO.

A102









1 EAST ELEVATION
A203 SCALE: 1/4" = 1'-0"

(h)

ASPHALT SHINGLE ROOF
1X10 FASCIA BD

DORMER BEARING
17'-0"

VINYL LAP SIDING
LOFT / ROOF BEARING
9'-6"

BREEZEWAY ROOF
8'-4 1/2"

BRICK VENEER

FIRST FLOOR
3"

EXIST GRADE
0"

B.O. FOUNDATION
-2'-8"

APPROVALS

BURWELL DESIGNS LLC



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PROJECT

**PROPOSED
GARAGE**

12610 HENDERSON CHAPEL LN
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ISSUED FOR
 PROGRESS PERMIT BIDDING
 CONSTRUCTION

DRAWING TITLE

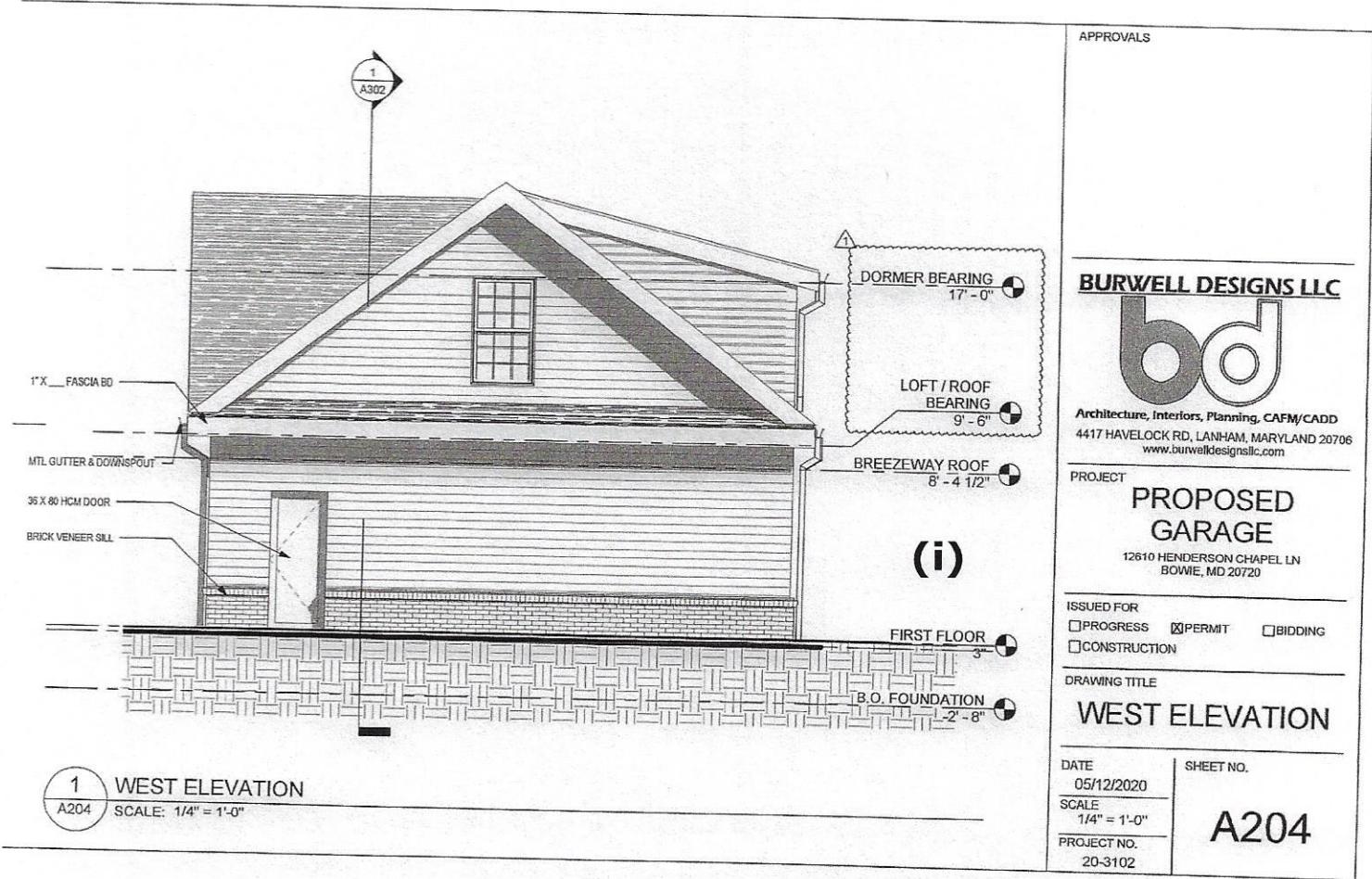
EAST ELEVATION

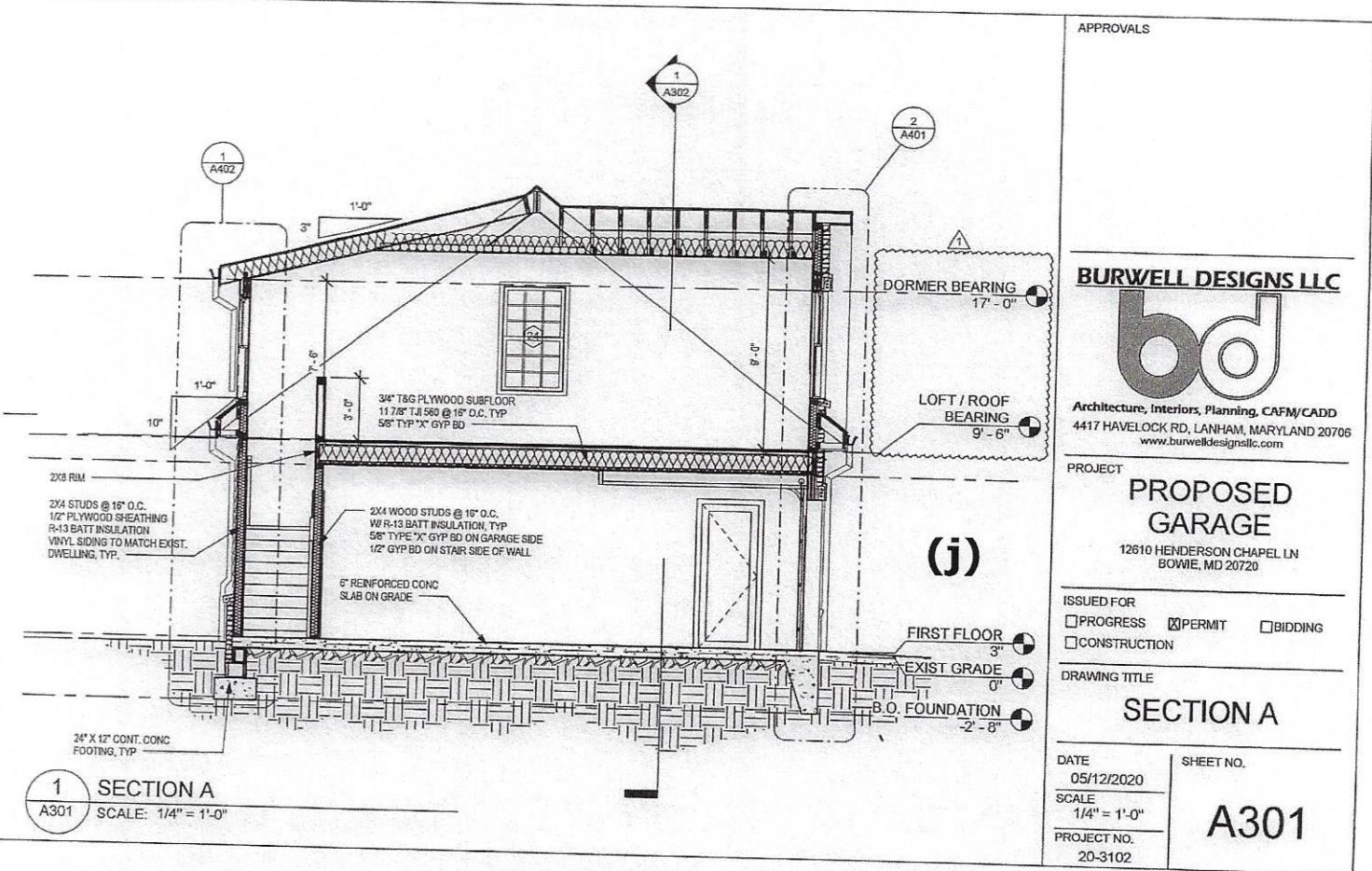
DATE
05/12/2020

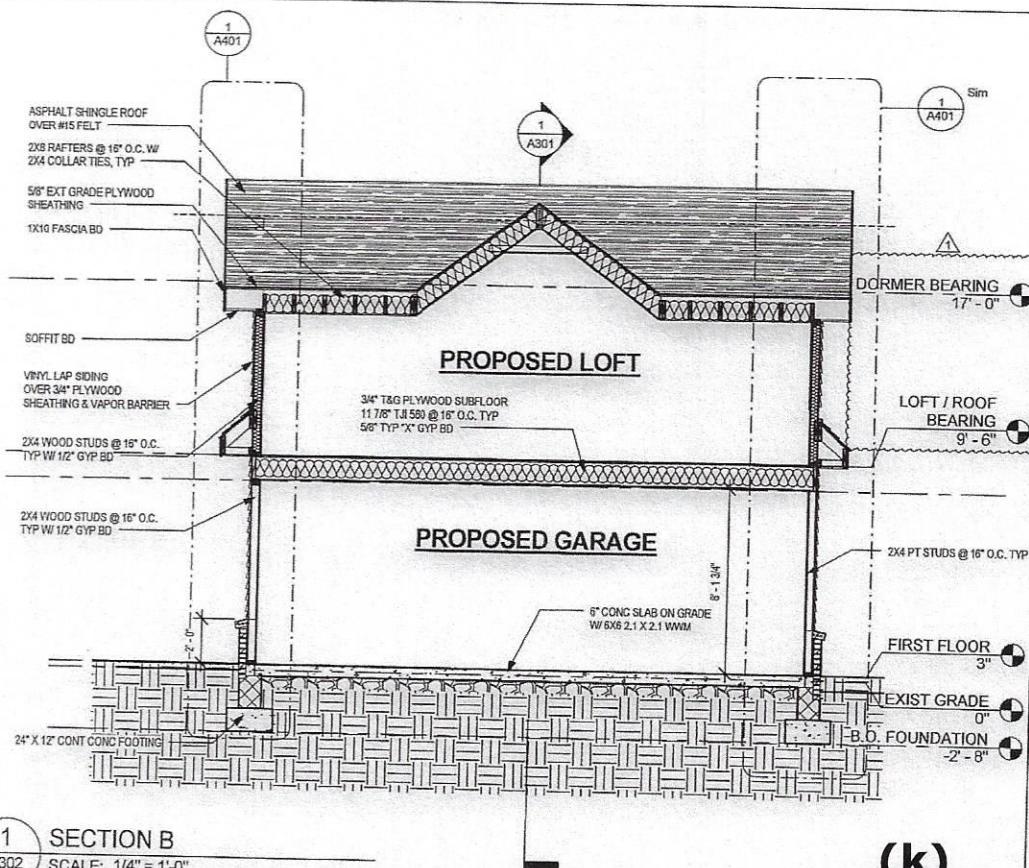
SHEET NO.

SCALE
1/4" = 1'-0"
PROJECT NO.
20-3102

A203

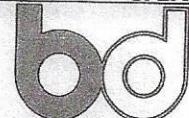






APPROVALS

BURWELL DESIGNS LLC



Architecture, Interior, Planning, CAFM/CADD
4417 HAVELOCK RD, LANHAM, MARYLAND 20706
www.burwelldesignsllc.com

PROJECT

**PROPOSED
GARAGE**

12610 HENDERSON CHAPEL LN
BOWIE, MD 20720

ISSUED FOR
 PROGRESS PERMIT BIDDING
 CONSTRUCTION

DRAWING TITLE

SECTION B

DATE 05/12/2020	SHEET NO.
SCALE 1/4" = 1'-0"	
PROJECT NO. 20-3102	A302

APPROVALS

BURWELL DESIGNS LLC

bd
 Architecture, Interiors, Planning, CAFM/CADD
 4417 HAVELOCK RD, LANHAM, MARYLAND 20706
www.burwelldesignsllc.com

PROJECT

PROPOSED
GARAGE

12610 HENDERSON CHAPEL LN
BOWIE, MD 20720

ISSUED FOR
 PROGRESS PERMIT BIDDING
 CONSTRUCTION

DRAWING TITLE

WALL SECTION

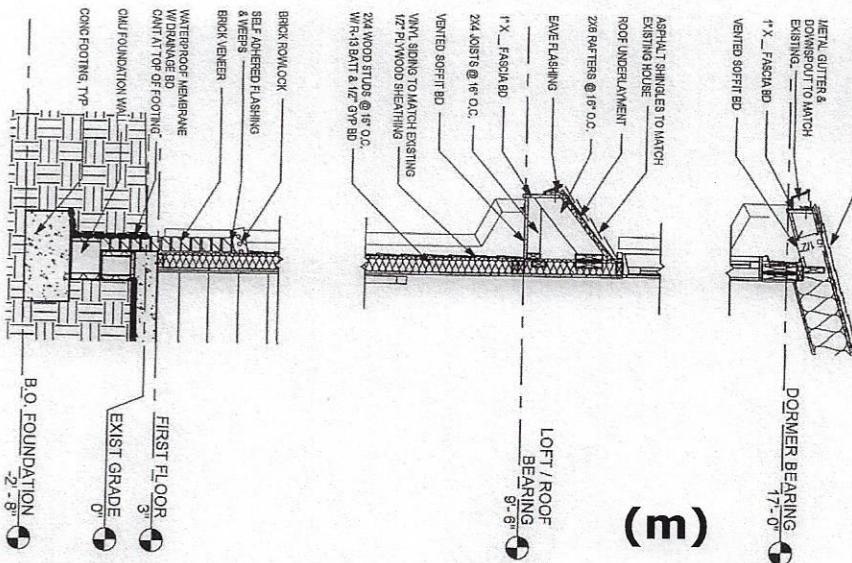
DATE
05/12/2020

SCALE
1/2" = 1'-0"

PROJECT NO.
20-3102

SHEET NO.

A402



1
WALL SECTION C
A402
SCALE: 1/2" = 1'-0"

36" X 48" WOOD STRUCTURAL PANEL
FULL HEIGHT CUT 1/2 DIAGONAL
W/ 6d COMMON NAILS @ 6" SPACING AT EDGES
& 12" INTERMEDIATE, TYP

DORMER BEARING
17'-0"

LOFT / ROOF
BEARING
9'-6"

FIRST FLOOR
3"
EXIST GRADE
B.O. FOUNDATION
-2'-8"

1 WIND BRACING - FRONT ELEVATION

A501 SCALE: 1/8" = 1'-0"

36" X 48" WOOD STRUCTURAL PANEL
FULL HEIGHT CUT 1/2 DIAGONAL
W/ 6d COMMON NAILS @ 6" SPACING AT EDGES
& 12" INTERMEDIATE, TYP

DORMER BEARING
17'-0"

LOFT / ROOF
BEARING
9'-6"

36" X 48" WOOD STRUCTURAL PANEL
FULL HEIGHT W/ 6d COMMON NAILS @
6" SPACING AT EDGES & 12" INTERMEDIATE, TYP

FIRST FLOOR
3"
EXIST GRADE
0"
B.O. FOUNDATION
-2'-8"

2 WIND BRACING - REAR ELEVATION

A501 SCALE: 1/8" = 1'-0"

APPROVALS

BURWELL DESIGNS LLC



Architecture, Interiors, Planning, CAFM/CADD
4417 HAVELOCK RD, LANHAM, MARYLAND 20706
www.burwelldesignsllc.com

PROJECT

PROPOSED
GARAGE

12610 HENDERSON CHAPEL LN
BOWIE, MD 20720

ISSUED FOR
 PROGRESS PERMIT BIDDING
 CONSTRUCTION

DRAWING TITLE

WIND BRACING

DATE
05/12/2020

SCALE
1/8" = 1'-0"

PROJECT NO.
20-3102

SHEET NO.

A501

(n)

APPROVALS

BURWELL DESIGNS LLC



Architecture, Interiors, Planning, CAFM/CADD
4417 HAVELOCK RD, LANHAM, MARYLAND 20706
www.burwelldesignsllc.com

PROJECT

PROPOSED
GARAGE12610 HENDERSON CHAPEL LN
BOWIE, MD 20720

ISSUED FOR
 PROGRESS PERMIT BIDDING
 CONSTRUCTION

DRAWING TITLE

WIND BRACING

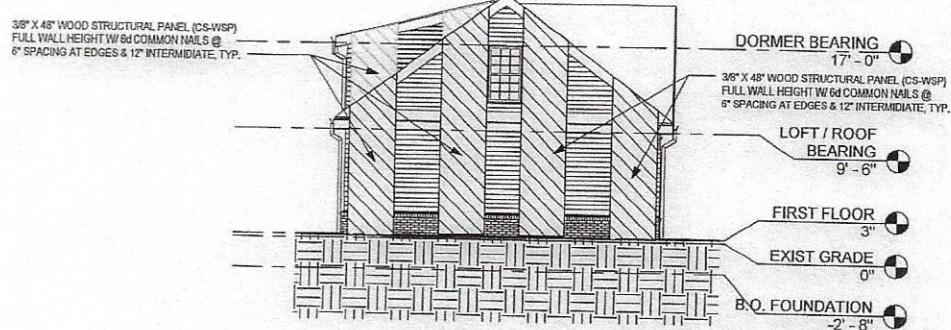
DATE
05/12/2020

SCALE
1/8" = 1'-0"

PROJECT NO.
20-3102

SHEET NO.

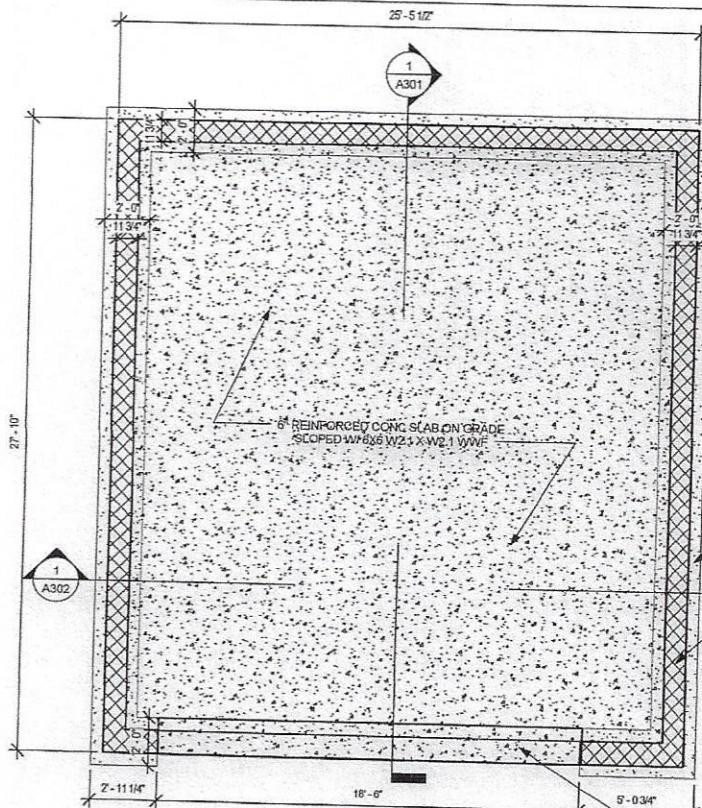
A502



1
A502

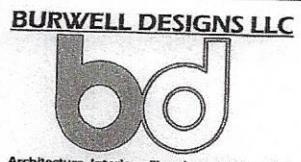
WIND BRACING - TYP SIDE ELEVATION

SCALE: 1/8" = 1'-0"



1 SLAB EDGE AND FOUNDATION PLAN
S101 SCALE: 1/4" = 1'-0"

APPROVALS



Architecture, Interiors, Planning, CAFM/CADD
4417 HAVELOCK RD, LANHAM, MARYLAND 20706
www.burwelldesignsllc.com

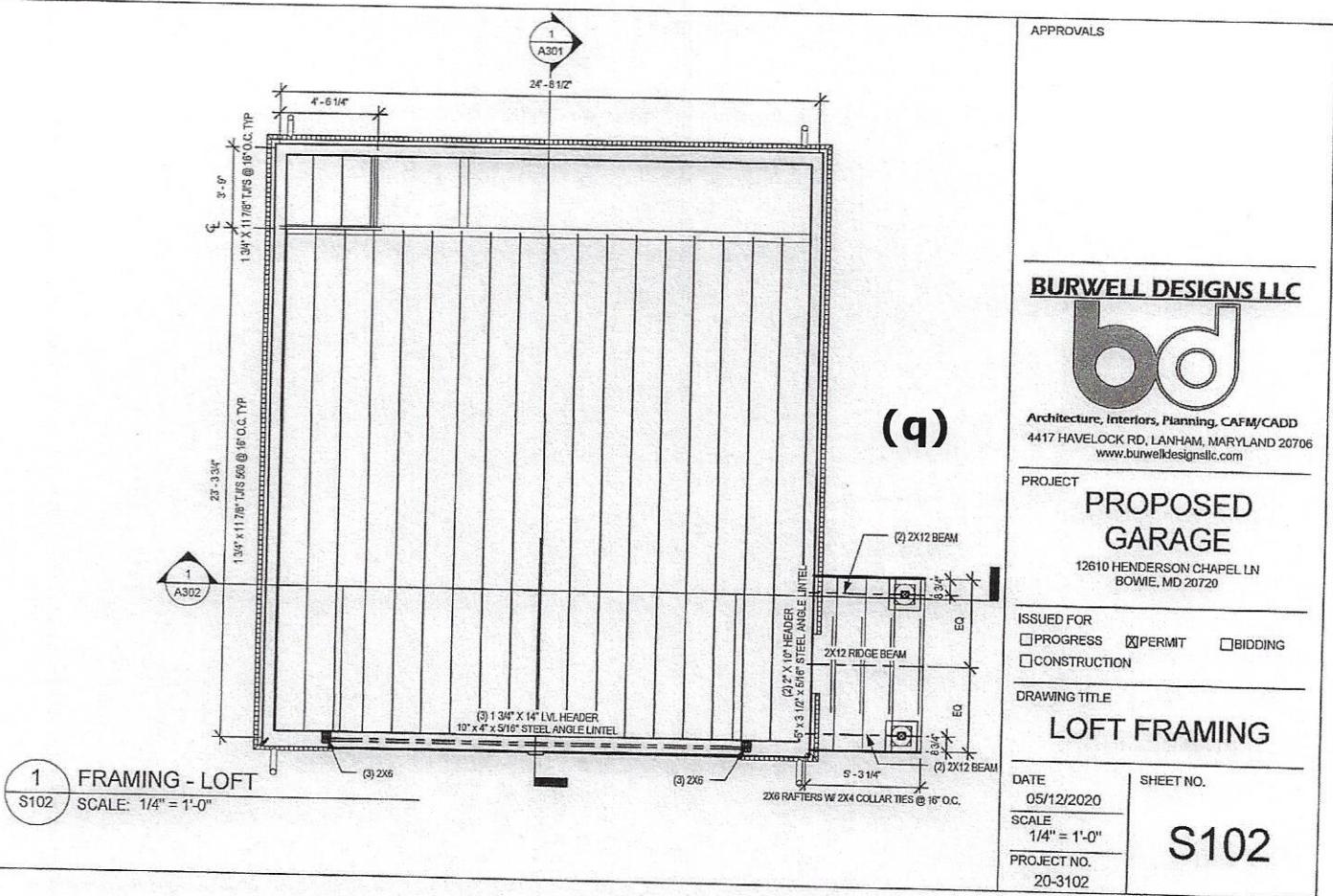
PROJECT
**PROPOSED
GARAGE**
12810 HENDERSON CHAPEL LN
BOWIE, MD 20700

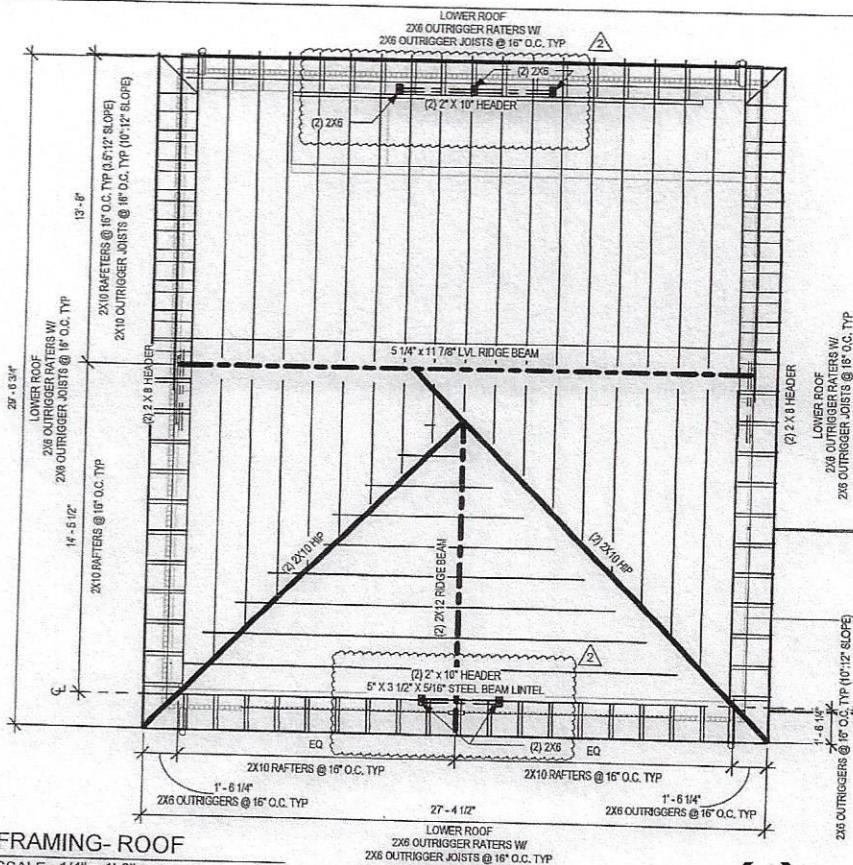
ISSUED FOR
 PROGRESS PERMIT BIDDING
 CONSTRUCTION

DRAWING TITLE
SLAB / FOUNDATION

DATE 05/12/2020	SHEET NO.
SCALE 1/4" = 1'-0"	
PROJECT NO. 20-3102	

S101





8

FRAMING- ROOF

103 SCALE 1/4" = 1'-0"

(r)

APPROVALS

^T PROPOSED
GARAGE

12610 HENDERSON CHAPEL LN
BOWIE, MD 20720

ISSUED FOR

PROGRESS PERMIT BIDDING
 CONSTRUCTION

DRAWING TITLE

ROOF FRAMING

DATE

SHEET NO.

SCALE

1/4" = 1'-0"

PROJECT NO.

20-3102

1000

S103