



THE PRINCE GEORGE'S COUNTY GOVERNMENT

BOARD OF ZONING APPEALS

BOARD OF ADMINISTRATIVE APPEALS

WAYNE K. CURRY COUNTY ADMINISTRATION BUILDING, LARGO, MARYLAND 20774
TELEPHONE (301) 952-3220

NOTICE OF FINAL DECISION

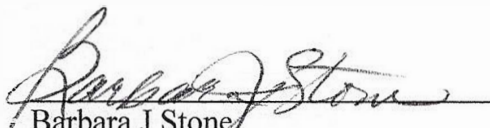
OF BOARD OF APPEALS

RE: Case No. V-30-21 Javier Rubio

Enclosed herewith is a copy of the Board Order setting forth the action taken by the Board of Appeals in your case on the following date: October 5, 2022.

CERTIFICATE OF SERVICE

This is to certify that on March 6, 2023, the above notice and attached Order of the Board were mailed, postage prepaid, to all persons of record.


Barbara J Stone
Administrator

cc: Petitioner
Adjoining Property Owners
M-NCPPC, Permit Review Section
DPIE/Building Code Official, Permitting

BEFORE THE BOARD OF APPEALS FOR PRINCE GEORGE'S COUNTY, MARYLAND
Sitting as the Board of Zoning Appeals

Petitioner: Javier Rubio

Appeal No.: V-30-21

Subject Property: Lot 1, Block A, Kentland Subdivision, being 7001 East Forest Road, Landover,
Prince George's County, Maryland

Spanish Language Interpreter: Ernesto Luna

Heard: January 12, 2022; Decided: October 5, 2022

Board Members Present and Voting: Bobbie S. Mack, Chairperson
Vacant, Vice Chairman
Anastasia T. Johnson, Member

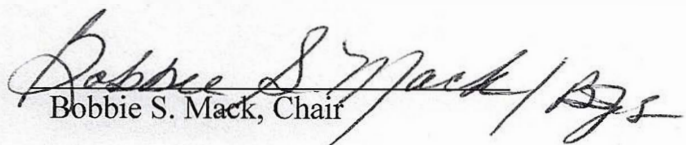
ORDER OF THE BOARD
REQUEST FOR RECONSIDERATION

Request was made to the Board of Appeals, sitting as the Board of Zoning Appeals for Prince George's County, Maryland ("Board"), for reconsideration of V-30-21 for a revised site and building plans on the property located at Lot 1, Block A, Kentland Subdivision, being 7001 East Forest Road, Landover, Prince George's County, Maryland

Revised site and elevation plans had been timely submitted to the Board, but, inadvertently, were not included in the record for review at the time of the hearing. A request for reconsideration, *sua sponte*, was made by the Board in order to provide an opportunity for review and subsequent determination by the Board based on the evidence in its entirety.

After discussion and consideration of the points raised in the request for reconsideration, the Board RESOLVED, by majority vote, Vice Chair seat vacant, that variances of 1.81-foot front building line width, 3.06 feet front yard depth, a waiver of the fence location requirement and height requirements for a fence over 4 feet in height in the front yard (abutting Kent Village Drive) and 9% net lot coverage in order to obtain permission to validate existing conditions (front building line, front yard depth, waiver of fence) and obtain a building permit for the unauthorized constructions of a porch, a one-story-rear addition, and driveway extension be and are hereby APPROVED. Approval of the variances is contingent upon development in compliance with the approved revised site plan, Exhibit 21 (A) and approved revised elevation plans, Exhibits 22 (a) thru (d).

BOARD OF ZONING APPEALS

By: 
Bobbie S. Mack, Chair

NOTICE

Within thirty (30) days from the date of this decision, any person, firm, corporation, or governmental agency who was a party to the Board's proceedings and is aggrieved by its decision may file an appeal to the Circuit Court of Prince George's County.

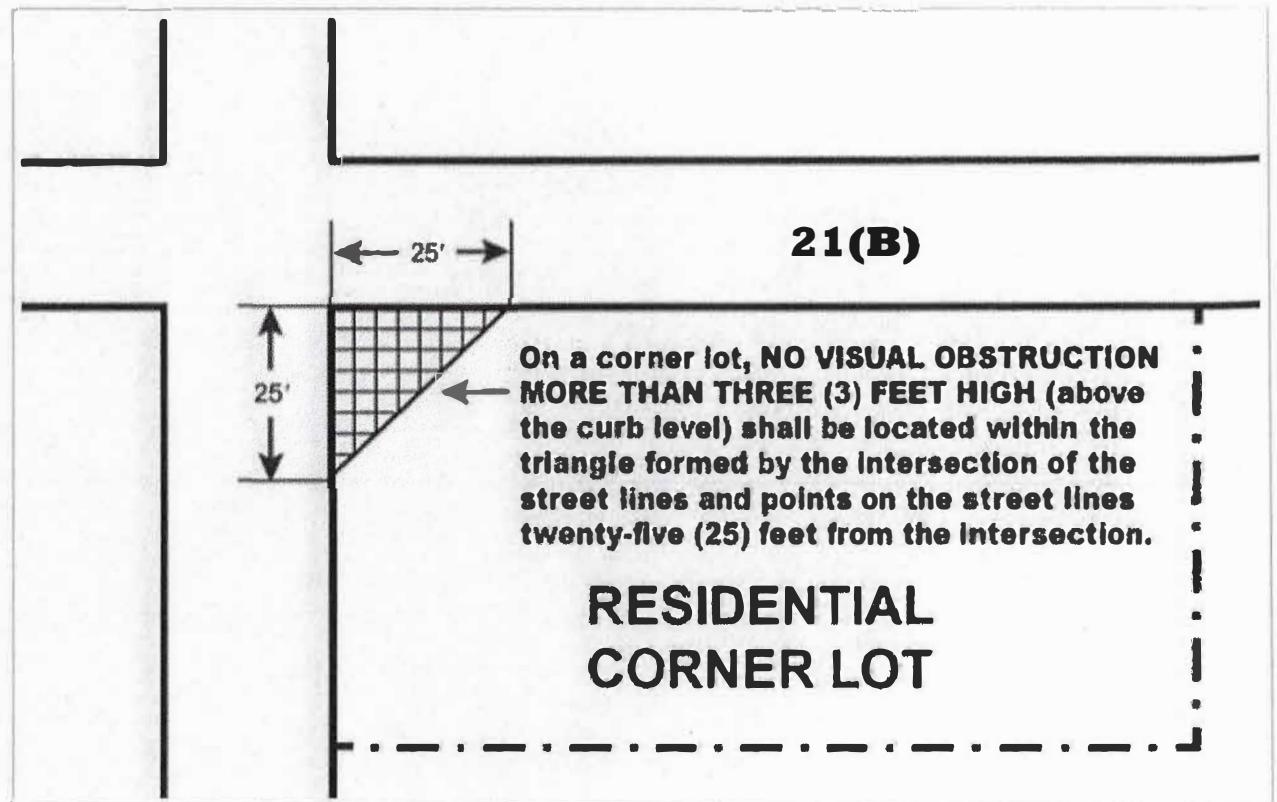
Further, Section 27-233(a) of the Prince George's County Code states:

A decision of the Board, permitting the erection of a building or structure, shall not be valid for more than two (2) years, unless a building permit for the erection is obtained within this period and the construction is started and proceeds to completion in accordance with the terms of the decision and the permit.

IMPORTANT NOTICE FOR CORNER LOTS

Per Prince George's County Zoning Code, Section 27-421. – Corner lot obstructions, all properties located on a corner lot, must possess a permit to install a fence, regardless of height.

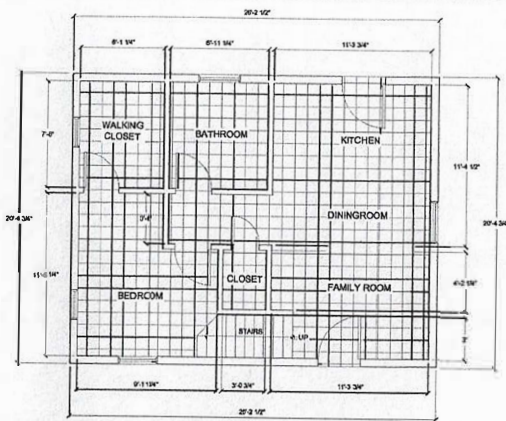
In addition, on a corner lot, NO VISUAL OBSTRUCTION MORE THAN THREE (3) FEET HIGH (above the curb level) shall be located within the triangle formed by the intersection of the street lines and points on the street lines twenty-five (25) feet from the intersection.



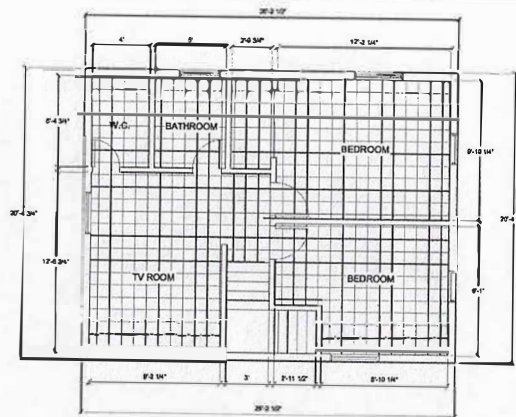
BOARD OF APPEALS

APPROVED OCT 05 2022

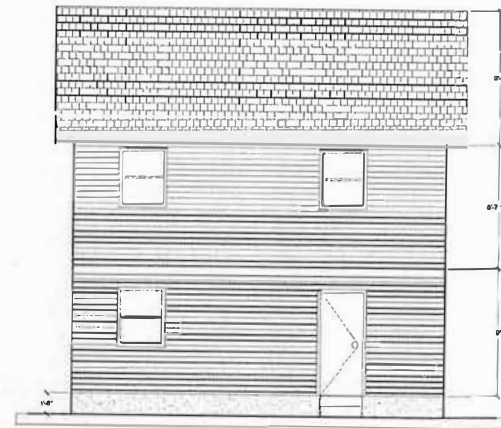
[Signature]
ADMINISTRATOR



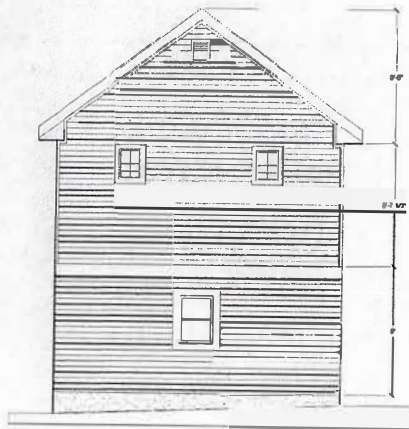
EXISTING / DEMO FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



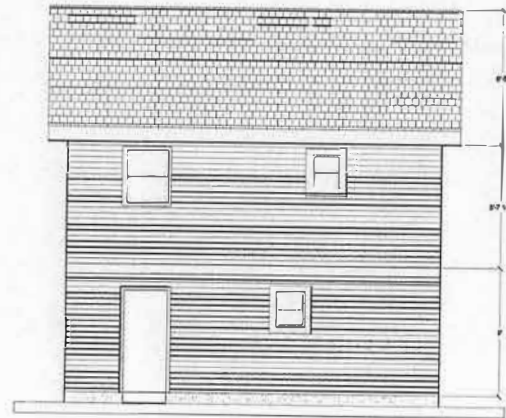
EXISTING / DEMO SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



EXISTING FRONT VIEW
SCALE: 1/4" = 1'-0"



EXISTING RIGHT VIEW
SCALE: 1/4" = 1'-0"



EXISTING REAR VIEW
SCALE: 1/4" = 1'-0"



EXISTING LEFT VIEW
SCALE: 1/4" = 1'-0"

NOTE:
THESE PLANS ARE FOR THE USE OF
THE BUILDER IN FACILITATING
CONSTRUCTION.
ALL DIMENSIONS INDICATED ARE
APPROXIMATE AND MAY VARY DUE TO
ADJUSTMENTS REQUIRED IN THE FIELD.
OPTIONAL FEATURES, FINISHES,
ELECTRICAL AND H. V. A. C. EQUIPMENT MAY
OR MAY NOT BE INDICATED ON PLANS.

ADDITION

No.	Description	Date

Project number
Date
Drawn by
Checked by

Project number
Date
Drawn by
Checked by

Checked by
Date
Project number

JAVIER RUBIO

7001 EAST FOREST RD
LANDOVER 20785

EXISTING ARCHITECTURAL
PLANS

Project number	Project number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A-001

Scale 1/4" = 1'-0"

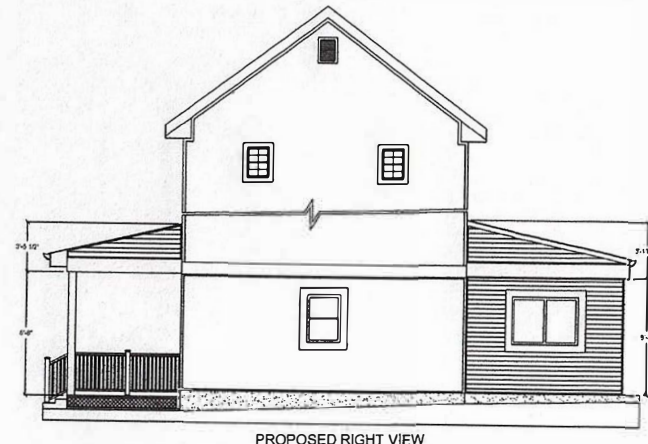
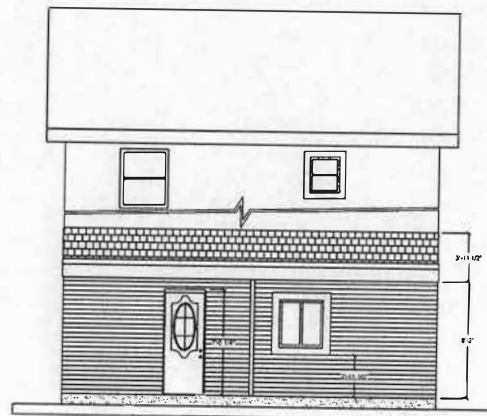
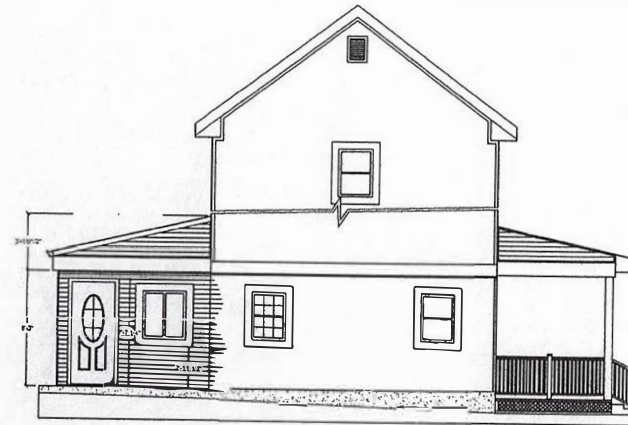
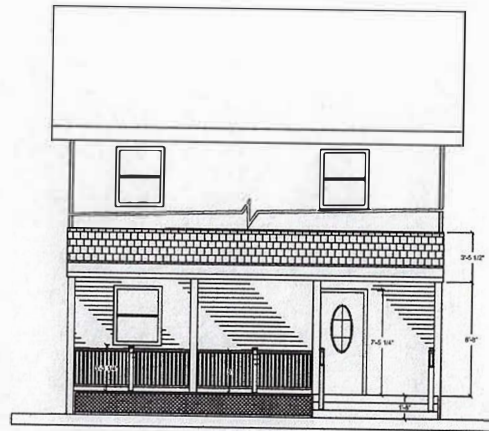
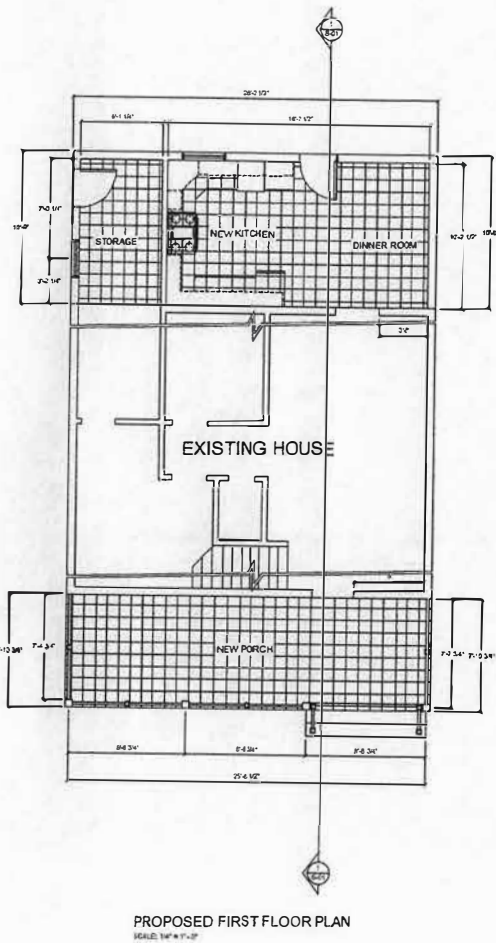
A-001 EXISTING ARCHITECTURAL PLANS

BOARD OF APPEALS

APPROVED OCT 05 2022

[Signature]
ADMINISTRATOR

Exh # 22(a-d)
V-30-21



NOTE:
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Checked by

Project number
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Drawn by
Checked by

Checked by
Date
Project number

JAVIER RUBIO

7001 EAST FOREST RD
LANDOVER 20785

PROPOSED ARCHITECTURAL PLANS

Project number
Date
Drawn by
Checked by

Project number
Issue Date
Author
Checker

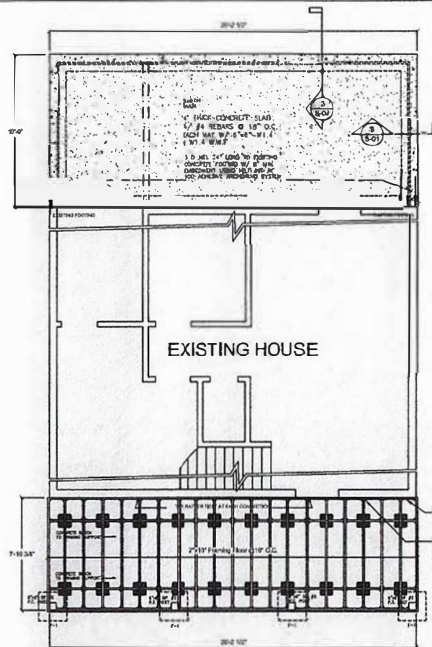
A-002

Scale 1/4" = 1'-0"

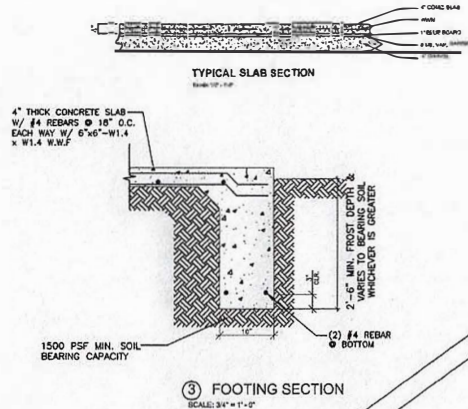
BOARD OF APPEALS

APPROVED OCT 05 2022

[Signature]
ADMINISTRATOR



PROPOSED STRUCTURAL PLAN
SCALE: 1/4" = 1'-0"



③ FOOTING SECTION
SCALE: 3/4" = 1'-0"

BUILDING CODES:
INTERNATIONAL RESIDENTIAL CODE 2015 (IRC) BUILDING CODE
AND THE PRINCE GEORGE'S COUNTY CODE AMENDMENT.

FOUNDATION NOTES:

1. DESIGN BASED ON:
 $F_c = 3,000$ PSI MIN. @ 28 DAYS (NOT EXCEEDED WITH
TOTAL AIR CONTENT PERCENT BY VOLUME OF
CONCRETE NOT LESS THAN 5% OR MORE THAN 7%)
FOR DAMAGED SLAB
 $F_t = 60,000$ PSI MIN. (FOR REBAR)

BUILDING CODES:
INTERNATIONAL RESIDENTIAL CODE 2015 (IRC) BUILDING CODE
AND THE PRINCE GEORGE'S COUNTY CODE AMENDMENT.

DESIGN LOADS:

- CONCRETE LOADS**
ROOF LIVE LOAD: 30 PSF
ROOF DEAD LOAD: 17 PSF
CONCRETE FOR FOOTING SHALL ATTAIN A MINIMUM 28 DAY
ULTIMATE WITH COMPRESSIVE STRENGTH $F'_c = 3,000$ PSI
MINIMUM SOIL BEARING SHALL BE 1,500 PSF WITH A
MINIMUM 30" FROST DEPTH.

STRUCTURAL LUMBER

STRUCTURAL LUMBER SHALL BE IN ACCORDANCE WITH THE NATIONAL DESIGN
SPECIFICATIONS FOR WOOD CONSTRUCTION (NDS) 2012 EDITION, PUBLISHED
BY THE NATIONAL WOOD PRODUCT ASSOCIATION. ALL STRUCTURAL FRAME
MEMBERS SHALL BE ONE OF THE FOLLOWING MINIMUM VALUES, UNLESS
OTHERWISE NOTED.

SPC. #1/21	
F_b BENDING	675 psi
F_t TENSION (parallel to grain)	450 psi
F_c COMPRESSION (parallel to grain)	1,350 psi
F_v SHEAR (parallel to grain)	425 psi
F_c COMPRESSION (perpendicular to grain)	1,150 psi
F_v COMPRESSION (perpendicular to grain)	1,000,000 psi
E MODULUS OF ELASTICITY	1,900,000 psi
E_{min} MODULUS OF ELASTICITY	1,400,000 psi

SPC. #1/22	
F_b BENDING	675 psi
F_t TENSION (parallel to grain)	450 psi
F_c COMPRESSION (parallel to grain)	1,350 psi
F_v SHEAR (parallel to grain)	425 psi
F_c COMPRESSION (perpendicular to grain)	1,150 psi
F_v COMPRESSION (perpendicular to grain)	1,000,000 psi
E MODULUS OF ELASTICITY	1,900,000 psi
E_{min} MODULUS OF ELASTICITY	1,400,000 psi

STRUCTURAL CONNECTIONS INDICATED ON THESE DOCUMENTS SHALL BE PROVIDED
BY SIMPSON STRONG-TIE COMPANY, INC.

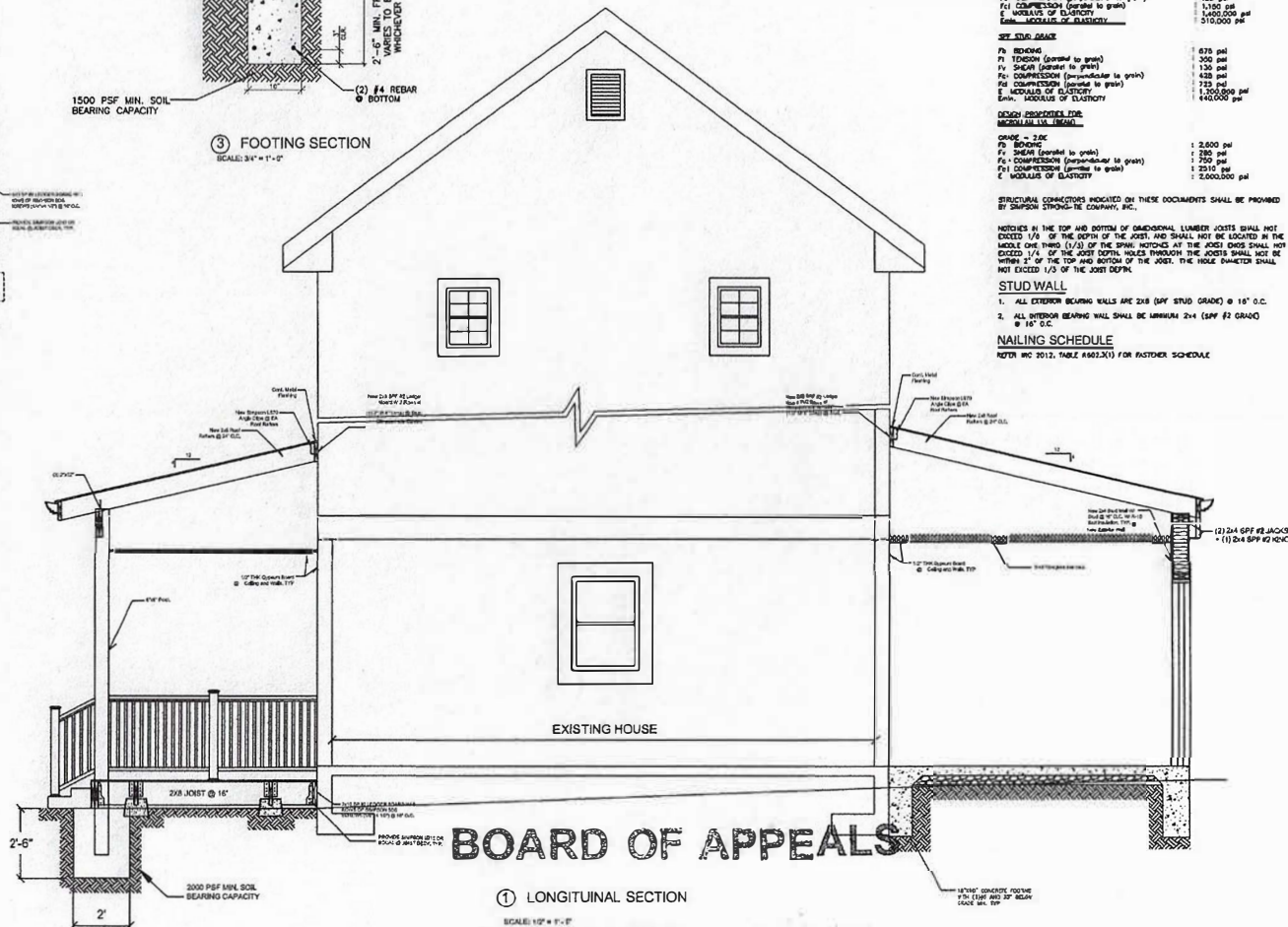
NOTICES IN THE TOP AND BOTTOM OF DIMENSIONAL LUMBER JOISTS SHALL NOT
EXCEED 1/8" OF THE DEPTH OF THE JOIST, AND SHALL NOT BE LOCATED IN THE
MIDDLE ONE THIRD (1/3) OF THE JOIST. NOTICES AT THE JOIST ENDS SHALL NOT
EXCEED 1/4" OF THE JOIST DEPTH. HOLES THROUGH THE JOIST SHALL NOT BE
WIDER THAN 1/4" OF THE JOIST DEPTH. THE JOIST DIAMETER SHALL
NOT EXCEED 1/3 OF THE JOIST DEPTH.

STUD WALL

1. ALL EXTERIOR BEARING WALLS ARE 2X8 (SPF STUD GRADE) @ 16" O.C.
2. ALL EXTERIOR BEARING WALL SHALL BE MINIMUM 2X4 (SPF #2 GRADE)
@ 16" O.C.

NAILING SCHEDULE

NOTES: IRC 2012, TABLE N602.3(1) FOR EXISTING SCHEDULE



BOARD OF APPEALS

① LONGITUDINAL SECTION

SCALE: 1/2" = 1'-0"

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Drawn by	Checked by
Project number	Date
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Drawn by	Checked by

JAVIER RUBIO

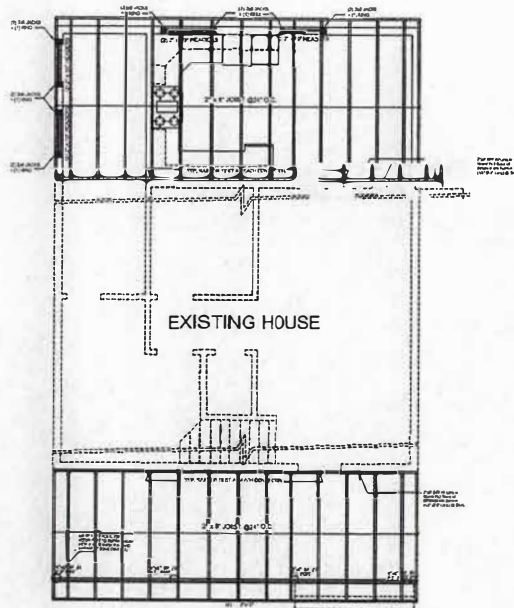
7001 EAST FOREST RD
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STRUCTURAL PLANS

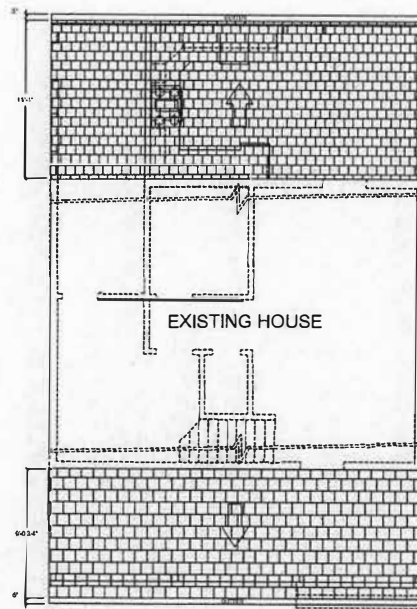
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S-001

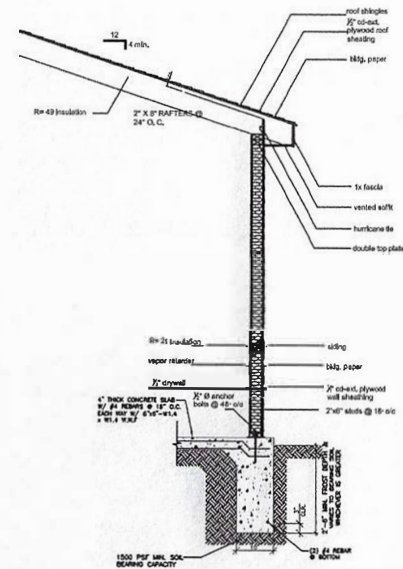
Scale 1/4" = 1'-0"



PROPOSED ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



WALL SECTION
SCALE: 1/4" = 1'-0"

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Checked by	
Obtained by	
Date	
Project number	

JAVIER RUBIO

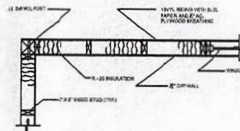
7001 EAST FOREST RD
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STRUCTURAL PLANS
AND DETAILS

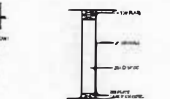
Project number	Project number
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Drawn by	Author
Checked by	Checker

S-002

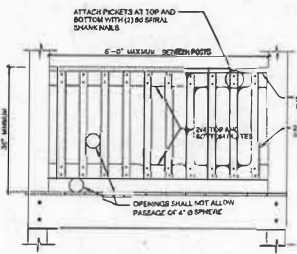
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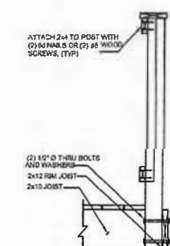
TYPICAL NEW WALL DETAIL
Scale 1/2" = 1'-0"



TYPICAL INTERIOR PARTITIONS
Scale 1/2" = 1'-0"



RAIL DETAIL TYP



GUARDRAIL DETAIL
Scale 1/2" = 1'-0"

BOARD OF APPEALS

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ADMINISTRATOR

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