



THE PRINCE GEORGE'S COUNTY GOVERNMENT

BOARD OF ZONING APPEALS

BOARD OF ADMINISTRATIVE APPEALS

WAYNE K. CURRY COUNTY ADMINISTRATION BUILDING, LARGO, MARYLAND 20774
TELEPHONE (301) 952-3220

NOTICE OF FINAL DECISION

OF BOARD OF APPEALS

RE: Case No. V-30-21 Javier Rubio

Enclosed herewith is a copy of the Board Order setting forth the action taken by the Board of Appeals in your case on the following date: October 5, 2022.

CERTIFICATE OF SERVICE

This is to certify that on March 6, 2023, the above notice and attached Order of the Board were mailed, postage prepaid, to all persons of record.

A handwritten signature in black ink, appearing to read "Barbara J. Stone".

Barbara J. Stone
Administrator

cc: Petitioner
Adjoining Property Owners
M-NCPPC, Permit Review Section
DPIE/Building Code Official, Permitting

BEFORE THE BOARD OF APPEALS FOR PRINCE GEORGE'S COUNTY, MARYLAND
Sitting as the Board of Zoning Appeals

Petitioner: Javier Rubio

Appeal No.: V-30-21

Subject Property: Lot 1, Block A, Kentland Subdivision, being 7001 East Forest Road, Landover,
Prince George's County, Maryland

Spanish Language Interpreter: Ernesto Luna

Heard: January 12, 2022; Decided: October 5, 2022

Board Members Present and Voting: Bobbie S. Mack, Chairperson
Vacant, Vice Chairman
Anastasia T. Johnson, Member

**ORDER OF THE BOARD
REQUEST FOR RECONSIDERATION**

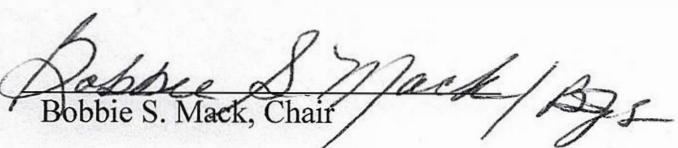
Request was made to the Board of Appeals, sitting as the Board of Zoning Appeals for Prince George's County, Maryland ("Board"), for reconsideration of V-30-21 for a revised site and building plans on the property located at Lot 1, Block A, Kentland Subdivision, being 7001 East Forest Road, Landover, Prince George's County, Maryland

Revised site and elevation plans had been timely submitted to the Board, but, inadvertently, were not included in the record for review at the time of the hearing. A request for reconsideration, *sua sponte*, was made by the Board in order to provide an opportunity for review and subsequent determination by the Board based on the evidence in its entirety.

After discussion and consideration of the points raised in the request for reconsideration, the Board RESOLVED, by majority vote, Vice Chair seat vacant, that variances of 1.81-feet front building line width, 3.06 feet front yard depth, a waiver of the fence location requirement and height requirements for a fence over 4 feet in height in the front yard (abutting Kent Village Drive) and 9% net lot coverage in order to obtain permission to validate existing conditions (front building line, front yard depth, waiver of fence) and obtain a building permit for the unauthorized constructions of a porch, a one-story-rear addition, and driveway extension be and are hereby APPROVED. Approval of the variances is contingent upon development in compliance with the approved revised site plan, Exhibit 21 (A) and approved revised elevation plans, Exhibits 22 (a) thru (d).

BOARD OF ZONING APPEALS

By:


Bobbie S. Mack, Chair

NOTICE

Within thirty (30) days from the date of this decision, any person, firm, corporation, or governmental agency who was a party to the Board's proceedings and is aggrieved by its decision may file an appeal to the Circuit Court of Prince George's County.

Further, Section 27-233(a) of the Prince George's County Code states:

A decision of the Board, permitting the erection of a building or structure, shall not be valid for more than two (2) years, unless a building permit for the erection is obtained within this period and the construction is started and proceeds to completion in accordance with the terms of the decision and the permit.

MILLENNIUM ENGINEERING, LLC

6805 CEDAR RIDGE DRIVE SUITE 205 CAMP SPRINGS, MARYLAND 20743

301-455-4188 301-433-0897 FAX

millennengin@netscape.net

The Maryland-National Capital Park and Planning Commission

APPROVED *db* 5/14/94

PERMIT #

PERMIT #11311

Offer to the
discrepancy

BOARD OF APPEALS

DCT 05 2022

APPROVED

EAST FOREST ROAD

21(A)



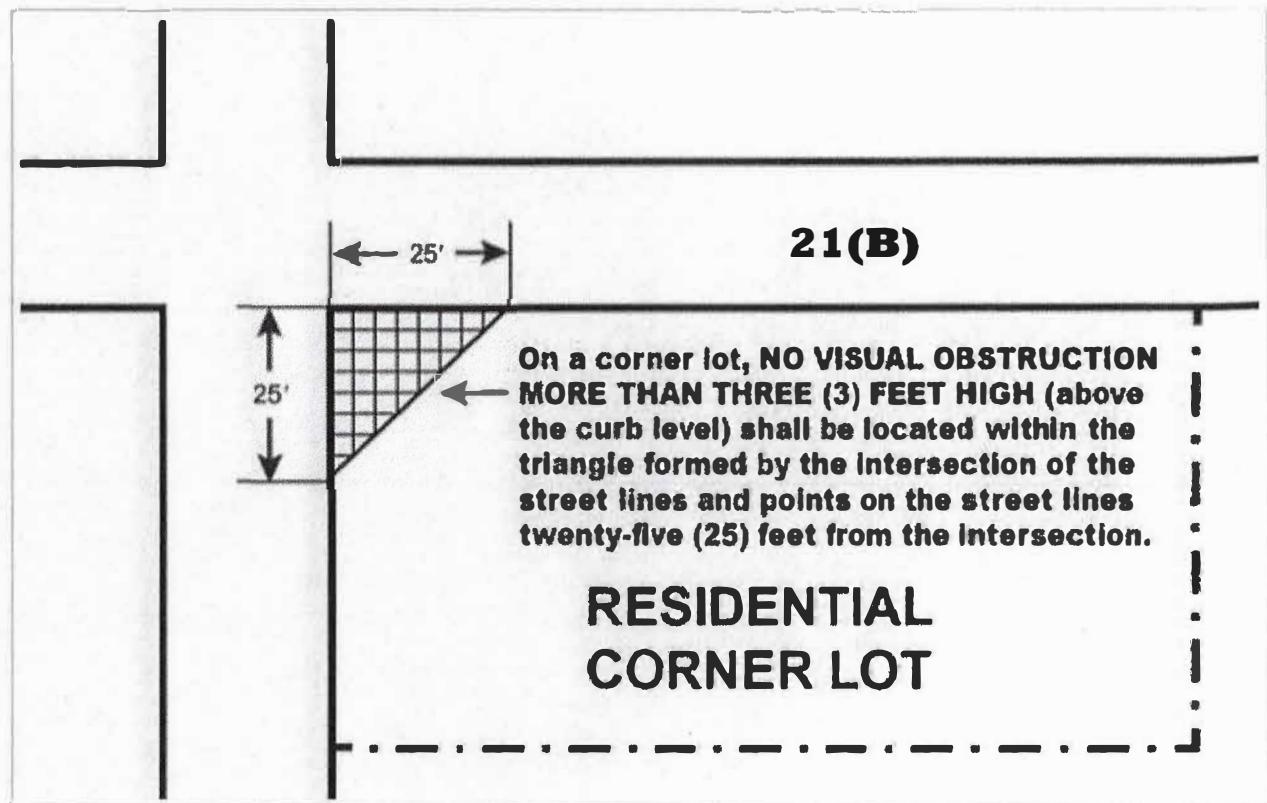
EXH. # 21(A-B)
V-30-21

NEW AREA

IMPORTANT NOTICE FOR CORNER LOTS

Per Prince George's County Zoning Code, Section 27-421. – Corner lot obstructions, all properties located on a corner lot, must possess a permit to install a fence, regardless of height.

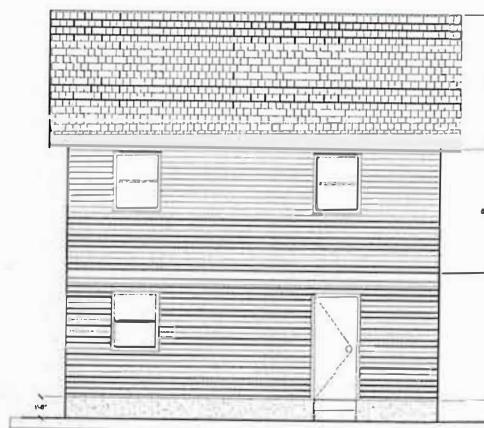
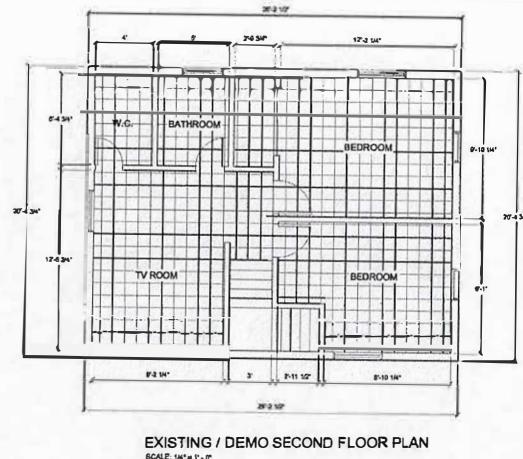
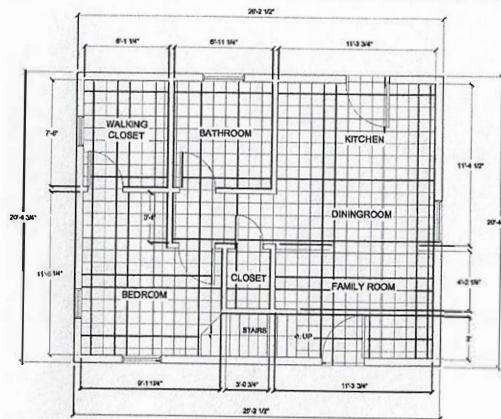
In addition, on a corner lot, NO VISUAL OBSTRUCTION MORE THAN THREE (3) FEET HIGH (above the curb level) shall be located within the triangle formed by the intersection of the street lines and points on the street lines twenty-five (25) feet from the intersection.



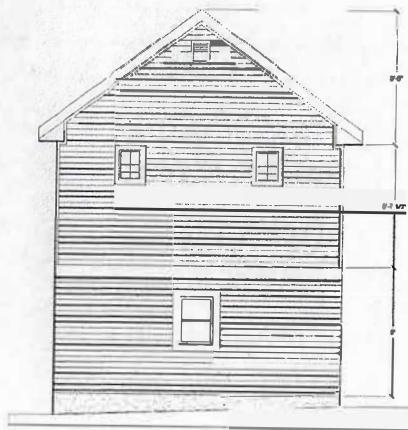
BOARD OF APPEALS

APPROVED OCT 05 2022

BS/SC
ADMINISTRATOR



NOTE:
THESE PLANS ARE FOR THE USE OF THE BUILDER IN FACILITATING CONSTRUCTION.
ALL DIMENSIONS INDICATED ARE APPROXIMATE AND MAY VARY DUE TO ADJUSTMENTS REQUIRED IN THE FIELD.
OPTIONAL FEATURES, FINISHES, ELECTRICAL AND H.V.A.C. EQUIPMENT MAY OR MAY NOT BE INDICATED ON PLANS.



BOARD OF APPEALS

APPROVED OCT 05 2022

B. Storie
ADMINISTRATOR

Exh # 22(a-d)
10-30-21

A-001 EXISTING ARCHITECTURAL PLANS

ADDITION

No.	Description	Date

Project number	Date

Project number
Date
Drawn by
Checked by

Project number
Date
Drawn by
Checked by

Checked by
Drawn by
Date
Project number

JAVIER RUBIO

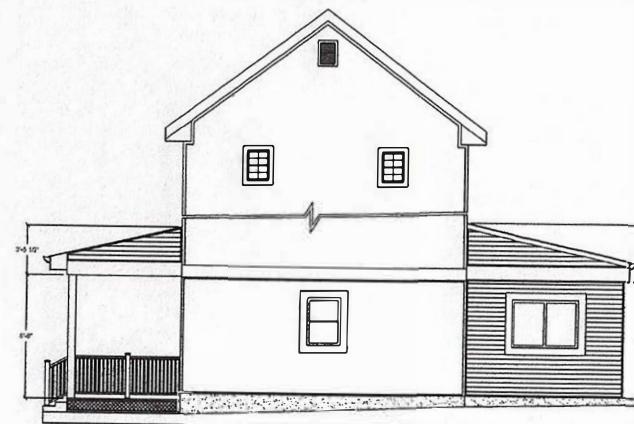
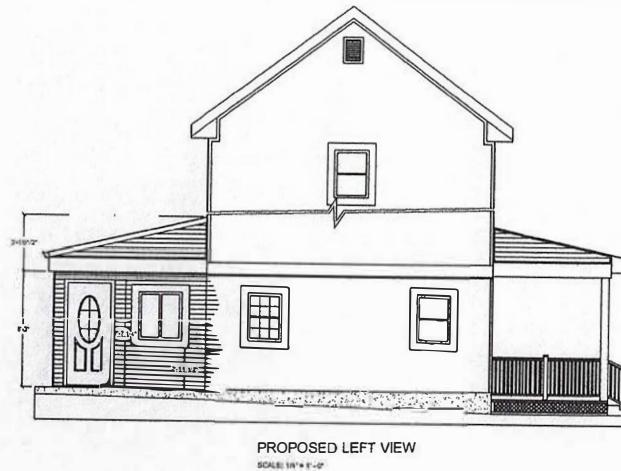
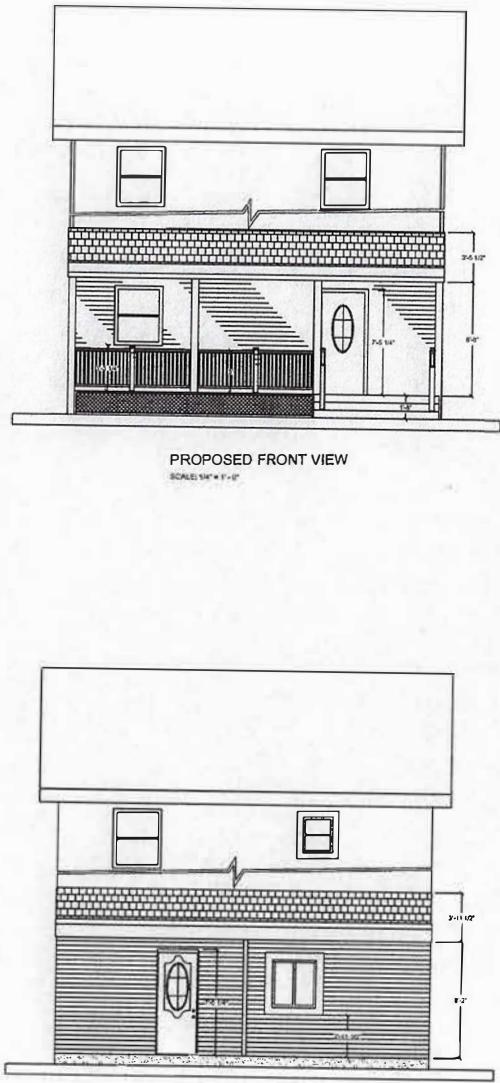
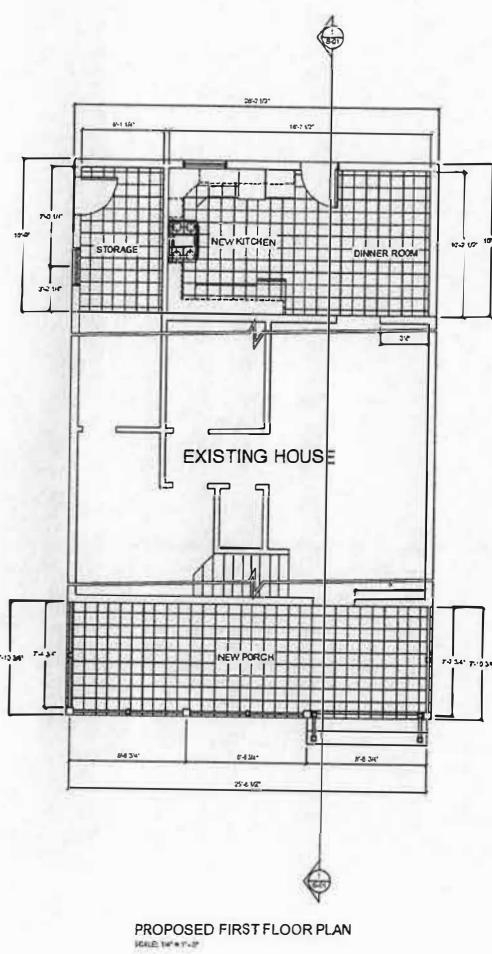
7001 EAST FOREST RD
LANDOVER 20785

EXISTING ARCHITECTURAL PLANS

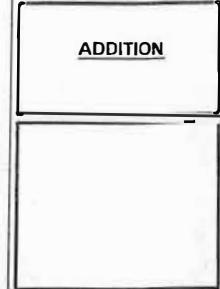
Project number	Project number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A-001

Scale 1/4" = 1'-0"



NOTE:
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OPTIONAL FEATURES, FINISHES,
ELECTRICAL AND H. V. A. C. EQUIPMENT MAY
OR MAY NOT BE INDICATED ON PLANS.



No.	Description	Date

Project number
Date
Drawn by
Checked by

Project number
Date
Drawn by
Checked by

Checked by
Drawn by
Author
Project number

Property
JAVIER RUBIO

Address
7001 EAST FOREST RD
LANDOVER 20765

PROPOSED ARCHITECTURAL PLANS

Project number	Project number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A-002

Scale 1/4" = 1'-0"

BOARD OF APPEALS

APPROVED OCT 05 2022

Administrator

