



THE PRINCE GEORGE'S COUNTY GOVERNMENT

BOARD OF ZONING APPEALS

BOARD OF ADMINISTRATIVE APPEALS

COUNTY ADMINISTRATION BUILDING, UPPER MARLBORO, MARYLAND 20772
TELEPHONE (301) 952-3220

NOTICE OF FINAL DECISION

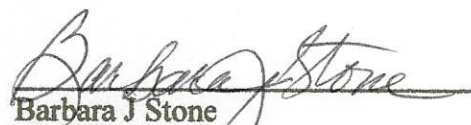
OF BOARD OF APPEALS

RE: Case No. V-11-21 Karl Muhammad

Enclosed herewith is a copy of the Board Order setting forth the action taken by the Board of Appeals in your case on the following date: May 26, 2021

CERTIFICATE OF SERVICE

This is to certify that on 8/10/21, the above notice and attached Order of the Board were mailed, postage prepaid, to all persons of record.


Barbara J Stone
Administrator

cc: Petitioner
Adjoining Property Owners
M-NCPPC, Permit Review Section
DPIE/Building Code Official, Permitting

BEFORE THE BOARD OF APPEALS FOR PRINCE GEORGE'S COUNTY, MARYLAND
Sitting as the Board of Zoning Appeals

Petitioner: Karl Muhammad

Appeal No.: V-11-21

Subject Property: Lot 93, Woodlane Subdivision, being 4903 Henderson Road, Temple Hills, Prince
George's County, Maryland

Heard: April 28, 2021; Decided: May 26, 2021

Board Members Present and Voting: Bobbie S. Mack, Chairperson
Albert C. Scott, Vice Chairman
Anastasia T. Johnson, Member

RESOLUTION

This appeal is brought before the Board of Appeals, sitting as the Board of Zoning Appeals for the Maryland-Washington Regional District in Prince George's County, Maryland (the "Board"), requesting a variance from the strict application of the provisions of Subtitle 27 of the Prince George's County Code (the "Zoning Ordinance").

In this appeal, a proceeding pursuant to Section 27-229 of the Zoning Ordinance, Petitioner requests that the Board approve a variance from Section 27-442(e)(Table IV) which prescribes that each lot shall have a rear yard at least 20 feet in depth/width and each corner lot shall have a side yard along the side street at least 25 feet in depth. Petitioner proposes to validate an existing condition (rear yard depth/width) and obtain a building permit for the construction of a room addition. Variances of 4 feet side street yard depth and 7 feet rear yard depth/width are requested.

Evidence Presented

1. The property was subdivided in 1941, contains 21,047 square feet, is zoned R-R (Rural Residential) and is improved with a single-family dwelling, carport and driveway. Exhibits, (Exhs.) 2, 4, 8, 9 and 10 (A) thru (F).
2. The property is located on an irregular, triangular shaped corner lot with the dwelling facing the two legal front streets of Henderson Road and Tolson Road. Exhs. 2, 4, 8, 9 and 10 (A) thru (F).
3. Petitioner proposes to validate an existing condition (rear yard depth/width) and obtain a building permit for the construction of a room addition. Variances of 4 feet side street yard depth along Tolson Road and 7 feet rear yard depth/width are requested to satisfy the 25-foot side street yard setback and the 20-foot rear yard setback requirements, respectively. Exhs. 2, 3 (a) thru (d) and 5 (A) thru (I).
4. Petitioner Karl Muhammad testified that he is proposing to build a room addition with a bathroom on the house to be used as an activity room for his elderly parents, who reside with him and his grandchildren, who frequently visit him. He stated that the proposed room will also serve as a work room.
5. The addition will be located on the side of the home closest to Tolson Road. The location of the house is very close to the rear yard. Exh. 2.
6. Petitioner's original intent was to construct a garage and elevation plans were submitted to show garage doors. Revised elevations have been submitted to show replacement of the garage doors with a French door. The dimensions of the room will be 23' x 37'. Exhs. 2, 5(A) thru (I) and 15 (A) thru (C).

Applicable Code Section and Authority

Section 27-230 of the Zoning Ordinance authorizes the Board to grant variances when, by reason of exceptional narrowness, shallowness, shape, topography, or other extraordinary situation or condition of specific parcels of property, the strict application of the Zoning Ordinance would result in peculiar and unusual practical difficulties or an exceptional or undue hardship upon the owner of the property, provided such relief can be granted without substantial impairment of the intent, purpose and integrity of the General Plan or Master Plan.

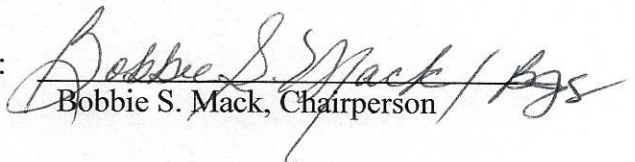
Findings of the Board

After hearing all the testimony and reviewing the evidence of record, the Board finds that the requested variance complies with the applicable standards set forth in Section 27-230, more specifically:

Due to the property being a corner lot, the lot has a triangular shaped corner lot with the dwelling facing the two legal front streets of Henderson Road and Tolson Road, the property has two front streets, the need for more activity space for Petitioner, his parents and grandchildren, the location of house on the lot and the character of the neighborhood, granting the relief requested would not substantially impair the intent, purpose and integrity of the General Plan or Master Plan, and denying the request would result in a peculiar and unusual practical difficulty upon the owner of the property.

BE IT THEREFORE RESOLVED, unanimously, that variances of 4 feet side street yard depth and 7 feet rear yard depth/width in order to validate an existing condition (rear yard depth/width) and obtain a building permit for the construction of a room addition on the property located at 4903 Henderson Road, Temple Hills, Prince George's County, Maryland, be and is hereby APPROVED. Approval of the variances is contingent upon development in compliance with the approved revised site plan, Exhibit 16 and approved revised elevation plans, Exhibits 15 (A) thru (C).

BOARD OF ZONING APPEALS

By: 
Bobbie S. Mack, Chairperson

NOTICE

Within thirty (30) days from the date of this decision, any person, firm, corporation, or governmental agency who was a party to the Board's proceedings and is aggrieved by its decision may file an appeal to the Circuit Court of Prince George's County.

Further, Section 27-233(a) of the Prince George's County Code states:

A decision of the Board, permitting the erection of a building or structure, shall not be valid for more than two (2) years, unless a building permit for the erection is obtained within this period and the construction is started and proceeds to completion in accordance with the terms of the decision and the permit.

CONSTRUCTION DOCUMENTS
MUHAMMAD ~~0414-14~~ ADDITION
4903 HENDERSON ROAD, TEMPLE HILLS, MD



LOT 92
ZONING: R-R
USE: SF RESIDENTIAL

HENDERSON ROAD
50' R.O.W.

210

200

207.9'

20' B.R.L.

Exist. Carport

#4903
Exist.
1-STORY
BRICK
1-STORY

SEE NEW
APPROVED
SITE PLAN.
ATTACHED

PROPOSED
3-CAR GARAGE

25' B.R.L.

216.4'

229.4'

TOLSON ROAD
40' R.O.W.

25' B.R.L.

PROPOSED ADDITION

Ex. Conc. To
Be Removed

3: R-R
RESIDENTIAL

822°22'W

PROP. ASPH. or CONC.
DRIVE (TBD BY OWNER)

BOARD OF APPEALS

8. Acc

APPROVED MAY 26 2021

ADMINISTRATOR

1
T1.0

PROPOSED SITE PLAN

SCALE: 1/16" = 1'-0"

EXHIBIT

16
V-11-21



21 F RICHMAR ROAD
OWINGS MILLS, MD.
(410)3632140
RAMSES.GROUP@HOTMAIL.CO

I Certify that these documents were prepared or approved by me and that I am a duly licensed architect under the laws of the state of Maryland.

LICENSE NUMBER: 13732

EXPIRATION DATE: 02/22/2023

CONSTRUCTION DOCUMENTS

MUHAMMAD GARAGE ADDITION
TO EXISTING RESIDENCE

MUHAMMAD PROPERTY
4903 HENDERSON ROAD, TEMPLE HILLS, MD

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REVISIONS

DRAWN BY

CHECKED BY _____

PROJECT NO. _____

DATE: _____

100

SHEET NO:

T1.0

APPLICABLE CODES

Prince George County Building Code

2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)

2018 INTERNATIONAL RESIDENTIAL BUILDING CODE

Chapter 13 of IBC-2018 Referenced Standards

2018 INTERNATIONAL MECHANICAL BUILDING CODE

2018 NATIONAL STANDARD PLUMBING CODE

2018 NATIONAL ELECTRICAL CODE ACCESSIBILITY CODE/ADAAG 2010 2015 INTERNATIONAL ENERGY CODE

2018 INTERNATIONAL MECHANICAL CODE

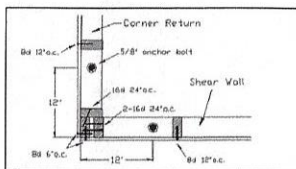
COMAR 05.16.01 Maryland Building Rehabilitation Code.

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL EXISTING FIELD CONDITIONS
2. ALL EXISTING EXTERIOR MASONRY WALLS TO BE SEALED W/ SPRAYED ON SEALANT FOR MOISTURE PROTECTION
3. EXIST BASEMENT FLOOR SLAB TO BE INSPECTED, PATCH OR REPAIR AS REQUIRED. THIS APPLIES TO AREAS AFFECTED BY INTERIOR REMODEL ITEMS.
4. DIMENSION ON EXISTING BUILDING ARE PLUS OR MINUS. DIMENSIONS ARE TO BE DIRECTIONAL IN NATURE
5. ALL INTERIOR WALLS TO BE CONSTRUCTED OF 5/8" METAL STUDS @ 16" O.C. WITH WOOD BLOCKING AS REQUIRED FOR MOUNTING ACCESSORIES
6. CONTRACTOR TO SELECTIVELY DEMOLISH ALL EXISTING INTERIOR WALLS AND COMPONENTS THAT CONFLICTS WITH NEW CONSTRUCTION PLANS
7. EXISTING INTERIOR STUD WALLS ARE TO BE REPAIRED OR PATCHED AND PAINTED AS REQ.
8. ALL NEW INTERIOR TO BE 1/2" GYP. BOARD. ALL WET WALLS TO BE WATER RESISTANT GYP. BOARD.
9. ALL FRAMING TO BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL CODES
10. ALLELECTRICAL AND MECHANICAL WORK TO BE DESIGNED AND INSTALLED BY QUALIFIED ELECTRICAL AND MECHANICAL CONTRACTOR
11. ALL NEW AREAS TO MEET OR EXCEED REQUIREMENT OF 2015 INTERNATIONAL BUILDING CODE, UNLESS SCOPE DOES NOT REQUIRE UPGRADES.
12. ALL CONSTRUCTION JOINTS AT DOOR FRAMES, MILL WORK AND OTHER EXPOSED JOINTS MUST BE SEALED WITH BACKER ROD AND CAULK AND OR SEALANT
13. ALL DOORS AND WINDOW JOINTS, ANNULAR SPACES, AND OPENINGS INTO HOLLOW OR INACCESSIBLE AREAS MUST BE CLOSED TO 1/32 INCH. ALL EXTERIOR JOINT AREAS MUST BE CONSTRUCTED TO PREVENT AIR INFILTRATION CRACKS AND VOIDS TO INACCESSIBLE PLACES
14. INSTALL PLYWOOD BOARD BEHIND WALL AREAS TO RECEIVE CABINETRY
15. ALL CONCRETE THRESHOLDS AT GARAGE DOOR OPENING TO SLOPED TO DRIVE WAY PAVING AS REQUIRED.

CODE REVIEW- Applicable Codes

2018 INTERNATIONAL RESIDENTIAL BUILDING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL ENERGY CODE
2018 NATIONAL STANDARD PLUMBING CODE
2018 NATIONAL ELECTRICAL CODE



3
A1.1
SHEAR WALL DETAIL
SCALE: NTS

PLAN NOTES

- A. EXISTING STAIRS TO BE REPAIR OR REPLACED AS REQUIRED TO MEET ALL LOCAL, STATE AND FEDERAL CODES
- B. ALL LOUPLY COLUMNS TO BE CONCRETE FILLED AS REQUIRED OR AS INDICATED ON PLAN FOR 1 HOUR FIRE RATED PROTECTION.
- C. ALL NEW HVAC UNITS TO BE ELECTRICAL WALL MOUNTED UNITS WITH NEW ENERGY EFFICIENT UNIT. HVAC CONTRACTOR TO DESIGN AND LOCATE AS REQUIRED
- D. ALL NEW ELECTRICAL OUTLETS, LIGHTING FIXTURES, SWITCHES AND OTHER REQUIRED ACCESSORIES TO BE TIED BACK TO MAIN PANEL SYSTEM, CONTRACTOR TO DESIGN AND INSTALL
- E. ALL WALLS AND ROOF ATTIC SPACES TO RECEIVE EITHER BATT OR RIGID INSULATION TO MAINTAIN REQUIRED R FACTORS IN ACCORDANCE WITH ALL LOCAL CODE.
- F. ALL END WALLS AT EXISTING MASONRY WALLS GYP BD. TO ALLOW FOR SMOOTH FINISH. CONTRACTOR TO ADJUST IN FIELD AS REQUIRED.

SYMBOLS NOTES

- REMOVE EXISTING DOOR AS INDICATED ON PLAN
- REMOVE EXISTING WALL CONSTRUCTION, PATCH PLASTER WALL
- FURRING CHANNELS AND GYPSUM BOARD ADDED TO THE INSIDE OF WALL AS REQUIRED
- EXISTING WALL TO REMAIN, UNLESS NEW FIRE EXTINGUISHER PLACED AS REQ. EVERY 72
- EXISTING WINDOW
- SEE ACCESSORY (NA)
- NEW WALL CONSTRUCTION SEE WALL TYPES
- EXISTING WALLS SEE WALL TYPE
- EXISTING DOORS
- NEW DOORS
- PLAN NOTE
- WALL TYPE

EXHIBIT

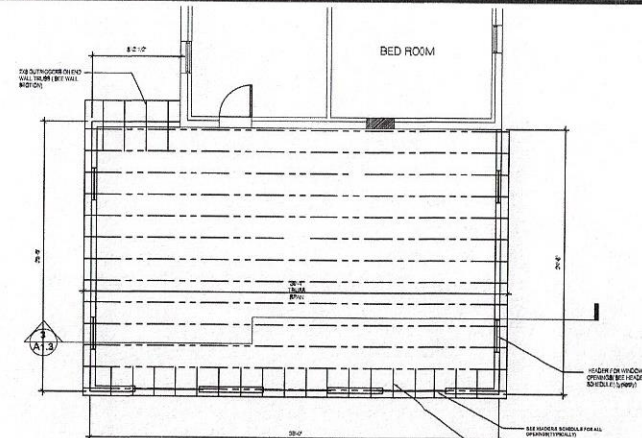
V-11-21

15 A

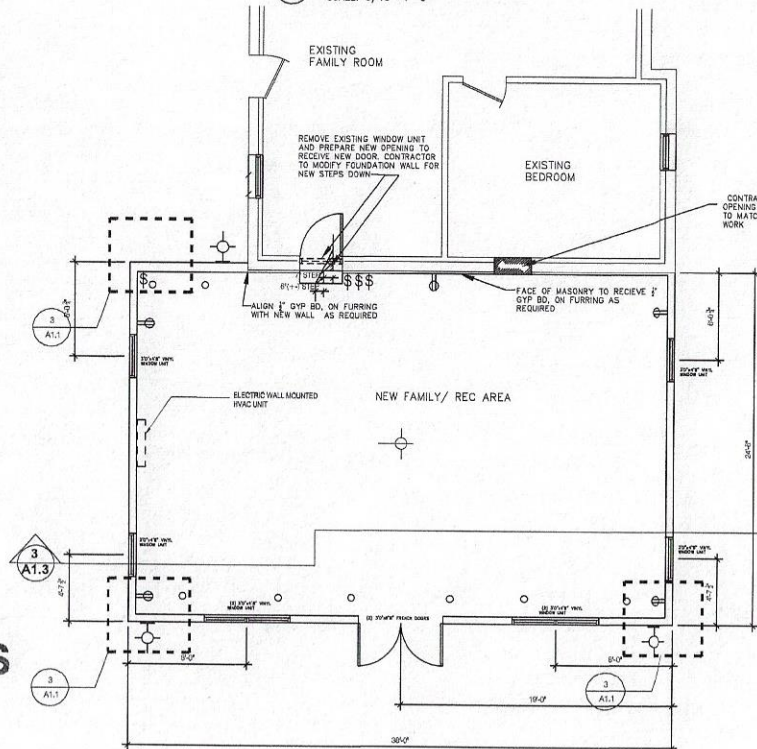
BOARD OF APPEALS

APPROVED MAY 26 2021

ADMINISTRATOR



2
A1.1
ROOF FRAMING PLAN
SCALE: 3/16"=1'-0"



3
A1.1
FLOOR PLAN
SCALE: NTS

RAMSES DESIGN GROUP LLC.

21 F RICHMOND ROAD
DUNN MILLS, MD
4103632142
RAMSES.GROUP@GMAIL.COM

CONSTRUCTION DOCUMENTS

MUHAMMAD ADDITION

TO EXISTING RESIDENCE

4903 HENDERSON ROAD, TEMPLE HILLS, MARYLAND

PROFESSIONAL CERTIFICATION

I Certify that these documents were prepared or approved by me and that I am a duly licensed architect under the laws of the state of Maryland.

ARCHITECT: JEROME COTTRELL

LICENSE NUMBER: 12722

EXPIRATION DATE: 02/22/2023

I, the undersigned, do hereby certify that I am a duly licensed architect under the laws of the state of Maryland, and I am duly qualified to prepare and seal these documents.

REVISIONS:

DRAWN BY:

CHECKED BY:

PROJECT NO:

DATE:

JAN, 2021

SHEET NO:

A1.1



**RAMSES
DESIGN GROUP LLC.**

21 F RICHMAN ROAD
DUNROSBILL, MD
21046-3210
RAMSES_GROUP@HOTMAIL.COM

CONSTRUCTION DOCUMENTS

MUHAMMAD ADDITION

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LICENSE NUMBER: 12722

EXPIRATION DATE: 02/22/2023

I, JEROME COTTRELL, A DULY LICENSED ARCHITECT, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. I HAVE REVIEWED THESE DOCUMENTS AND I HEREBY CERTIFY THAT THEY COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS. I HAVE REVIEWED THESE DOCUMENTS AND I HEREBY CERTIFY THAT THEY COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

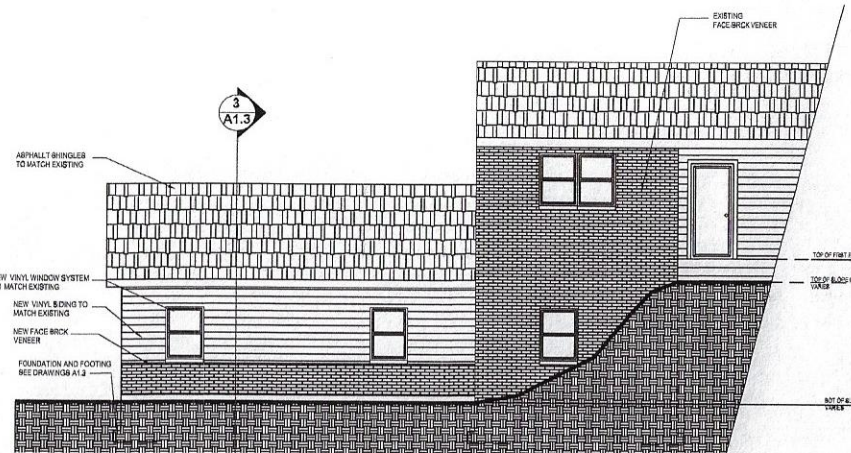
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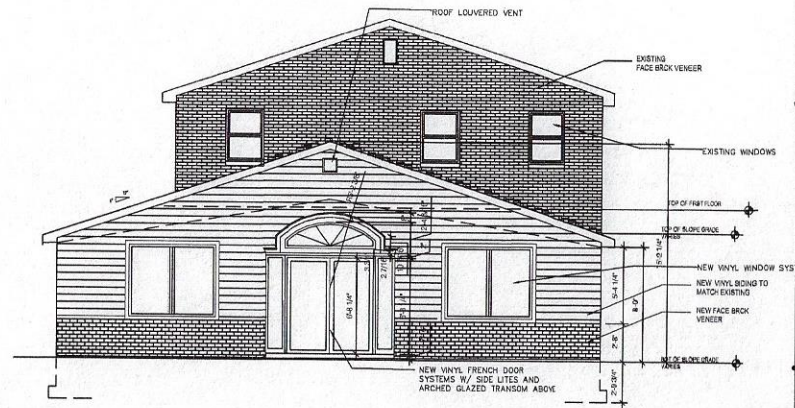
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JAN, 2021

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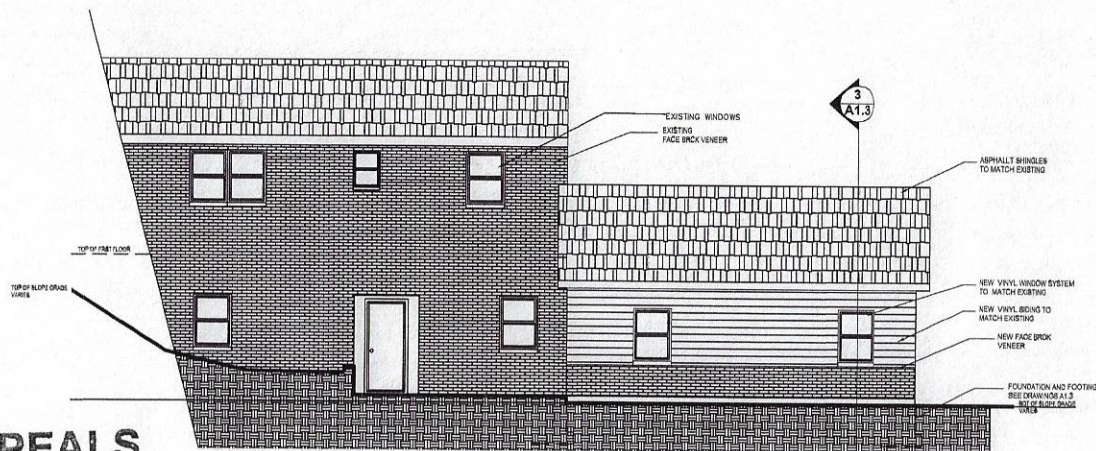
A1.2



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

EXHIBIT

V-11-21

15 B

BOARD OF APPEALS

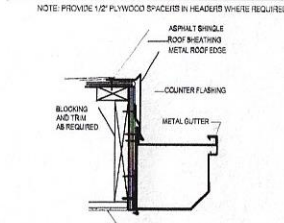
APPROVED

MAY 26 2021

Boydston
ADMINISTRATOR

[illegible]

LOAD BEARING WALLS			
WALL SIZE	OPENING SIZE	HEADER	JAMB
8" STD	LESS THAN 3'-0"	2-2X8	2-2X6
8" STD	3'-0" TO 8'-0"	2-2X8	2-2X6
8" STD	9'-0" TO 12'-0"	2-2X12	2-2X6
8" STD	8'-0" TO 12'-0"	5-2X12 @ 2 PARALLEL	4-2X6
4" STD	1'-0" TO 3'-0"	2-2X8	2-2X4
4" STD	3'-0" TO 8'-0"	2-2X12	2-2X4
4" STD	8'-0" TO 12'-0"	3-2X12 @ 1 PARALLEL	2-2X4
NON-LOAD BEARING WALLS			
OPENING SIZE	HEADER	JAMB	
LESS THAN 3'-0"	2-2X6	2-2X4	
3'-0" TO 8'-0"	2-2X8	2-2X4	
8'-0" TO 12'-0"	2-2X12	2-2X4	



GENERAL: ALL NOTES ARE FOR 9-10 MINUTES

COORDINATION: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE STRUCTURAL DRAWINGS AND THEIR DIMENSIONS WITH OTHER DRAWINGS AND IF A CONFLICT EXISTS, THE CONTRACTOR SHALL NOTIFY THE AFFECTED PARTIES UNTIL THE ADOPTION OF THE RESOLUTION AND THE CONSULT.

CODE: DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE IBC 2015 CODE AND THE PARTICULAR CODES AS REFERENCED IN IBC 2015 § 903 CODES IN ACCORDANCE WITH THE IBC 2015 § 903.

OVER-LOAD: THE STRUCTURE HAS BEEN DESIGNED FOR OVER-LOAD AS

4 DETAIL 5

FLOOR LOADS

100% IGAAD 4399
 PARTITIVE 100% 82 981
 100% IGAAD
 100% CATEGORY 11
 100% CATEGORY 11
 100% CATEGORY 11

GROUND SNOW LOAD (Pg)	2048
EXPOSURE FACTOR (Ce)	1.0
LOAD IMPORTANCE FACTOR (Ib)	1.0
THERMAL FACTOR (Ct)	1.00

CONSTRUCTION SAFETY LOADS GREATER THAN THE ALLOWABLE DEAD LOADS SHALL NOT BE PLACED ON THE STRUCTURE. PROVIDER SHALL BE RESPONSIBLE FOR ADEQUATE BRACING AND SUPPORT OF ADJACENT CONSTRUCTION, UTILITIES AND EXCAVATIONS. JOB SITE SAFETY AND CONSTRUCTION PROGRAMS ARE THE RESPONSIBILITY OF THE CONTRACTOR.

CONCRETE TO BE MIXED AND PLACED IN ACCORDANCE WITH THE CURRENT AMERICAN CONCRETE INSTITUTE (ACI) BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE. A COPY OF THE CODE SHALL BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES.

ALL REINFORCED CONCRETE TO HAVE A COMPRESSIVE STRENGTH (F_C) OF 3000 PSI UNLESS OTHERWISE NOTED.

RE: BRACING/SHORING

A POLYMER CONCRETE

CONTRACTOR SHALL SUBMIT MIX DESIGN ACCOMPANIED BY APPROPRIATE GRAPH AND BACKGROUND DATA FOR APPROVAL. MIX DESIGN SHALL INDICATE 7 AND 28 DAYS STRENGTH, COMPRESSION, AIR CONTENT, WATER-CEMENT RATIO, AMOUNT OF FINE AND COARSE AGGREGATE AND AIR CONTENT. ALL EXTERIOR CONCRETE AND CONCRETE EXPOSED TO WEATHER SHALL BE ENCASED.

CONTRACTOR SHALL CONDUCT TESTS SHALL BE MADE BY AN INDEPENDENT QUALIFIED TESTING AGENCY, TO BE APPROVED AND PAID FOR BY THE CONTRACTOR, IN ACCORDANCE WITH ASTM SPECIFICATION FOR COMPRESSION TESTS OF CONCRETE. A SET OF TEST CYLINDERS SHALL BE MADE FOR EACH 500 CUMULATIVE CUBIC FEET THEREOF OF CONCRETE PLACED.

NUMBER OF CYLINDERS REQUIRED:

	7 DAY	30 DAY	60 DAY
GM	1	1	1
SLT	1	2	2

THE TESTING AGENCY SHALL BE RESPONSIBLE FOR OBTAINING SAMPLES

THE TESTING AGENCY SHALL BE RESPONSIBLE FOR OBTAINING SAMPLES

[illegible]

USE OF ADDITIVE SHALL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED BY THE STRUCTURAL ENGINEER. USE OF ADDITIVE CONTAINING CHLORIDE OR SULFATE SHALL NOT BE PERMITTED.

USE OF GEMENT SUBSTITUTES SUCH AS FLY ASH OR SILICA FUME SHALL NOT BE PERMITTED WITHOUT PRIOR APPROVAL FROM THE STRUCTURAL ENGINEER. THE USE OF GEMENT SUBSTITUTES WILL ONLY BE PERMITTED DURING SPECIFIC MEASURES, DURING COLD WEATHER, AS DEFINED BY ACR. NO FLY ASH WILL BE PERMITTED FOR USE. THE AMOUNT OF FLY ASH PERMITTED IN THE MIX DESIGN WILL BE LIMITED TO 10% BY WEIGHT OF THE TOTAL AMOUNT OF GEMENT IN THE MIX. THE AMOUNT OF SILICA FUME PERMITTED IN THE MIX DESIGN WILL BE LIMITED TO 5% BY WEIGHT OF THE TOTAL AMOUNT OF GEMENT IN THE MIX. THE TOTAL AMOUNT OF GEMENT IN THE MIX AND THE REMAINDER OF FILL WILL BE ADDED TO THE FLY ASH SHALL NOT EXCEED 10% OF THE TOTAL WEIGHT OF THE MIX.

NOTE: WHERE THE CAST UNITS ARE NOT FURNISHED AND UNLESS OTHERWISE SHOWN OR NOTED, PROVIDE ONE ANGLE FOR EACH 4" EXCESS OF NON-LOAD BEARING WALL OR PARTITION, WITH A 1/2" LEE INCREMENTS FOR OPENINGS IN MASONRY WALLS AS FOLLOWS:

CAST WELD STEEL ANGLE UNITS TOGETHER WHERE MORE THAN ONE IS REQUIRED.

PRECAST LINTELS IN NON-LOAD BEARING MAJOR WALLS SHALL BE PRECAST CONCRETE (MIN. 60,000 PSI) AS FOLLOWS (FOR EACH 4" OF WALL THICKNESS OR FRACTION THERE OF (UNLESS NOTED OTHERWISE):

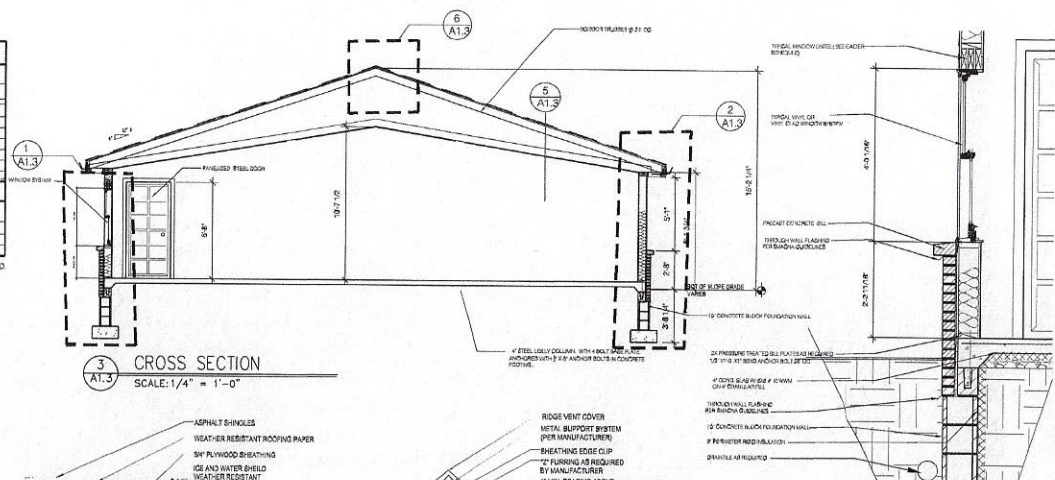
MINIMUM UNDER 4"	4" DEEP x 1/2" x NO. 8 BAR 1 @ 8"
------------------	-----------------------------------

PRECAST UNITS SHALL BE BUILT WITH AS WALLS SUPPORTED. MINIMUM 10" DEEP W/ 1-#6 BAR 10#

AND TWO ADVANTAGES: ORIGINATES DESIGNER (WHICH MEANS ANNUAL INCOME DOES NOT DEPEND ON SIZE OF UNIT) AND ACQUIRED FLEXIBILITY FOR FORMATION OF OUTSTANDING ORGANIZATION FOR OPTIMIZES CAPITAL AND THESE BROTHERS ABOVE, CONSEQUENTLY REVENUE.

PLATES, ANGLES & CHANNELS: ASTM A36

ALL BEARING SURFACES IN VICINITY OF CONCRETE TO HAVE STANDARD ANCHORS AND MINIMUM 3/8"-12" BEARING PLATES.

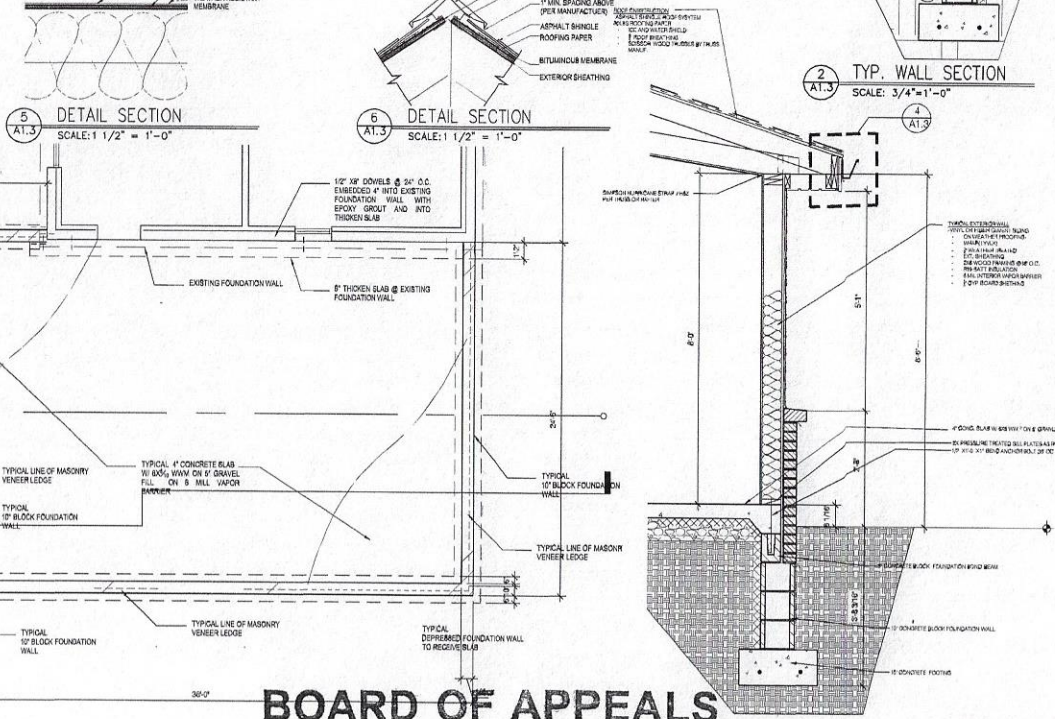


SCALE: 1/4" = 1'-0"



SCALE: $3/4" = 1'-0"$

4



SCALE: 1/4" = 1'-0"

A1.3 SCALE: 3/4" = 1'-0"

SCALE: 3/4" = 1'-0"

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1 TYP. WA



**RAMSES
DESIGN GROUP LLC.**

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OWINGS MILLS, MD.
(410) 365-2140

RAMSES.GROUP@HOTMAIL.COM

CONSTRUCTION DOCUMENTS

MUHAMMAD ADDITION
TO EXISTING RESIDENCE

4903 HENDERSON ROAD, TEMPLE HILLS, MARYLAND

PROFESSIONAL CERTIFICATION:
I Certify that these documents were prepared or approved by me and that I am a duly licensed architect under the laws of the state of Maryland.
ARCHITECT: JEROME COTTRELL
LICENSE NUMBER: 12722
EXPIRATION DATE: 02/22/2023

[illegible][illegible]

DRAWN BY:	
CHECKED BY:	
PROJECT NO:	
DATE: JAN, 2021	

SHEET NO:

A1.3

APPROVED MAY 26 2021

2

B. Stone
ADMINISTRATOR