



THE PRINCE GEORGE'S COUNTY GOVERNMENT

BOARD OF ZONING APPEALS

BOARD OF ADMINISTRATIVE APPEALS

COUNTY ADMINISTRATION BUILDING, UPPER MARLBORO, MARYLAND 20772
TELEPHONE (301) 952-3220

NOTICE OF FINAL DECISION

OF BOARD OF APPEALS

RE: Case No. V-11-21 Karl Muhammad

Enclosed herewith is a copy of the Board Order setting forth the action taken by the Board of Appeals in your case on the following date: May 26, 2021

CERTIFICATE OF SERVICE

This is to certify that on 8/10/21, the above notice and attached Order of the Board were mailed, postage prepaid, to all persons of record.

A handwritten signature in black ink, appearing to read "Barbara J. Stone".

Barbara J. Stone
Administrator

cc: Petitioner
Adjoining Property Owners
M-NCPBC, Permit Review Section
DPIE/Building Code Official, Permitting

BEFORE THE BOARD OF APPEALS FOR PRINCE GEORGE'S COUNTY, MARYLAND
Sitting as the Board of Zoning Appeals

Petitioner: Karl Muhammad

Appeal No.: V-11-21

Subject Property: Lot 93, Woodlane Subdivision, being 4903 Henderson Road, Temple Hills, Prince George's County, Maryland

Heard: April 28, 2021; Decided: May 26, 2021

Board Members Present and Voting: Bobbie S. Mack, Chairperson
Albert C. Scott, Vice Chairman
Anastasia T. Johnson, Member

RESOLUTION

This appeal is brought before the Board of Appeals, sitting as the Board of Zoning Appeals for the Maryland-Washington Regional District in Prince George's County, Maryland (the "Board"), requesting a variance from the strict application of the provisions of Subtitle 27 of the Prince George's County Code (the "Zoning Ordinance").

In this appeal, a proceeding pursuant to Section 27-229 of the Zoning Ordinance, Petitioner requests that the Board approve a variance from Section 27-442(e)(Table IV) which prescribes that each lot shall have a rear yard at least 20 feet in depth/width and each corner lot shall have a side yard along the side street at least 25 feet in depth. Petitioner proposes to validate an existing condition (rear yard depth/width) and obtain a building permit for the construction of a room addition. Variances of 4 feet side street yard depth and 7 feet rear yard depth/width are requested.

Evidence Presented

1. The property was subdivided in 1941, contains 21,047 square feet, is zoned R-R (Rural Residential) and is improved with a single-family dwelling, carport and driveway. Exhibits, (Exhs.) 2, 4, 8, 9 and 10 (A) thru (F).

2. The property is located on an irregular, triangular shaped corner lot with the dwelling facing the two legal front streets of Henderson Road and Tolson Road. Exhs. 2, 4, 8, 9 and 10 (A) thru (F).

3. Petitioner proposes to validate an existing condition (rear yard depth/width) and obtain a building permit for the construction of a room addition. Variances of 4 feet side street yard depth along Tolson Road and 7 feet rear yard depth/width are requested to satisfy the 25-foot side street yard setback and the 20-feet rear yard setback requirements, respectively. Exhs. 2, 3 (a) thru (d) and 5 (A) thru (I).

4. Petitioner Karl Muhammad testified that he is proposing to build a room addition with a bathroom on the house to be used as an activity room for his elderly parents, who reside with him and his grandchildren, who frequently visit him. He stated that the proposed room will also serve as a work room.

5. The addition will be located on the side of the home closest to Tolson Road. The location of the house is very close to the rear yard. Exh. 2.

6. Petitioner's original intent was to construct a garage and elevation plans were submitted to show garage doors. Revised elevations have been submitted to show replacement of the garage doors with a French door. The dimensions of the room will be 23' x 37'. Exhs. 2, 5(A) thru (I) and 15 (A) thru (C).

Applicable Code Section and Authority

Section 27-230 of the Zoning Ordinance authorizes the Board to grant variances when, by reason of exceptional narrowness, shallowness, shape, topography, or other extraordinary situation or condition of specific parcels of property, the strict application of the Zoning Ordinance would result in peculiar and unusual practical difficulties or an exceptional or undue hardship upon the owner of the property, provided such relief can be granted without substantial impairment of the intent, purpose and integrity of the General Plan or Master Plan.

Findings of the Board

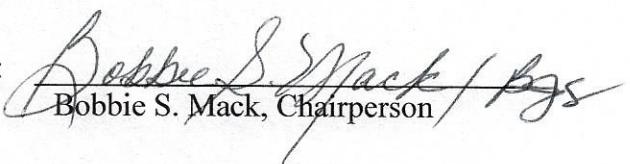
After hearing all the testimony and reviewing the evidence of record, the Board finds that the requested variance complies with the applicable standards set forth in Section 27-230, more specifically:

Due to the property being a corner lot, the lot has a triangular shaped corner lot with the dwelling facing the two legal front streets of Henderson Road and Tolson Road, the property has two front streets, the need for more activity space for Petitioner, his parents and grandchildren, the location of house on the lot and the character of the neighborhood, granting the relief requested would not substantially impair the intent, purpose and integrity of the General Plan or Master Plan, and denying the request would result in a peculiar and unusual practical difficulty upon the owner of the property.

BE IT THEREFORE RESOLVED, unanimously, that variances of 4 feet side street yard depth and 7 feet rear yard depth/width in order to validate an existing condition (rear yard depth/width) and obtain a building permit for the construction of a room addition on the property located at 4903 Henderson Road, Temple Hills, Prince George's County, Maryland, be and is hereby APPROVED. Approval of the variances is contingent upon development in compliance with the approved revised site plan, Exhibit 16 and approved revised elevation plans, Exhibits 15 (A) thru (C).

BOARD OF ZONING APPEALS

By:


Bobbie S. Mack, Chairperson

NOTICE

Within thirty (30) days from the date of this decision, any person, firm, corporation, or governmental agency who was a party to the Board's proceedings and is aggrieved by its decision may file an appeal to the Circuit Court of Prince George's County.

Further, Section 27-233(a) of the Prince George's County Code states:

A decision of the Board, permitting the erection of a building or structure, shall not be valid for more than two (2) years, unless a building permit for the erection is obtained within this period and the construction is started and proceeds to completion in accordance with the terms of the decision and the permit.

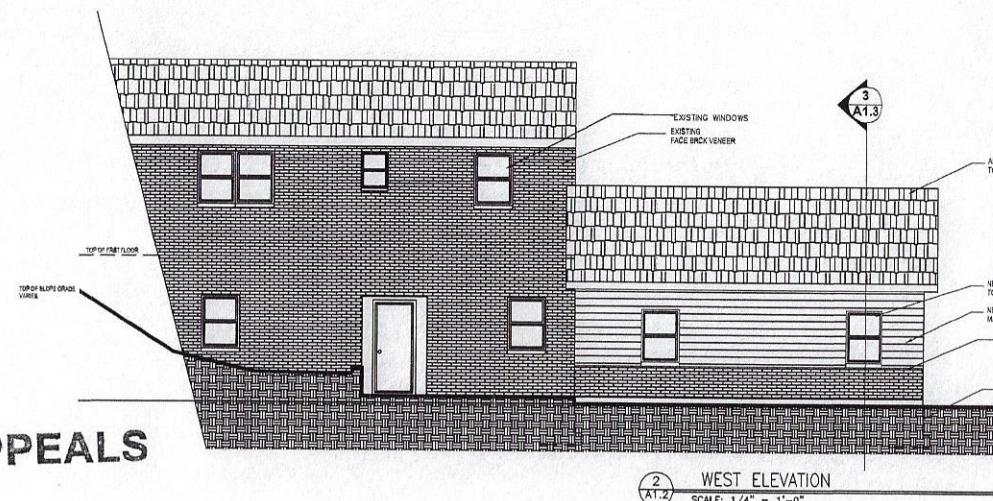
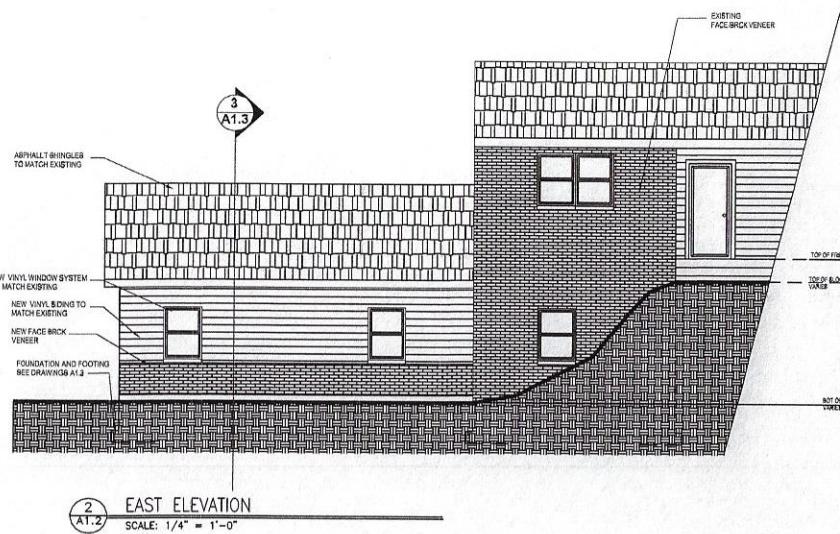


EXHIBIT
V-11-21
15 B

BOARD OF APPEALS

APPROVED MAY 26 2021

Boston
ADMINISTRATOR



RAMSES
DESIGN GROUP LLC.

21 F RICHMAR ROAD
OWINGS MILLS, MD.
(410)363-2140
RAMSES_Group@hotmail.com

CONSTRUCTION DOCUMENTS
MUHAMMAD ADDITION
TO EXISTING RESIDENCE

4903 HENDERSON ROAD, TEMPLE HILLS, MARYLAND

PROFESSIONAL CERTIFICATION:
I Certify that these documents were prepared or approved by me and that I am a duly licensed architect under the laws of the state of Maryland.

ARCHITECT: JEROME COTTRELL,
LICENSE NUMBER: 12722
EXPIRATION DATE: 02/22/2023

THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF
MICHAEL J. BROWN & ASSOCIATES, INC. AND IS PROVIDED
EXCLUSIVELY FOR THE USE OF THE CONTRACTOR AND
NOT FOR DISSEMINATION IN ANY FORM OR BY ANY MEANS.

REVISIONS:

DRAWN BY:

CHECKED BY:
PROJECT NO:
DATE:
JAN, 2021

SHEET NO:

A1.2



WOOD NOTES:

- ALL SAWN LUMBER EXCEPT FOR NON-LOAD BEARING WALLS, SHALL BE NO. 2 SOUTHERN PINE, W/C NO. 15%, WITH DRY CHIPS OR SPLITS. NON-LOAD BEARING WALLS, W/C NO. 25%.
- ALL ENGINEERED LUMBER, LVL AND PARALLAM, SHALL BE BY I.P.S./J.S. MACMILLAN OR BY I.P.S./J.S. MACMILLAN OR BY I.P.S./J.S. MACMILLAN.
- ALL STEEL CONNECTORS IN CONTACT WITH PRESSURE TREATED LUMBER, WILL BE SIMMONS STRONG-TIE CONNECTORS (1/8" GALVANIZED MINIMUM OR EQUAL).
- ALL STEEL CONNECTORS IN CONTACT WITH PRESSURE TREATED LUMBER, WILL BE SIMMONS STRONG-TIE CONNECTORS (1/8" GALVANIZED MINIMUM OR EQUAL).
- ALL CONNECTION PLATES FOR WOOD TRusses & WALLS, WILL BE SIMMONS STRONG-TIE CONNECTIONS.
- ALL TRUSS PLATE INSTITUTE SPECIFICATIONS.
- ALL TRUSS PLATE SUPPORTS, 1 1/2" O.C. SPAN, WILL BE WITH PANEL CLIPS.
- ALL GORE PLATES SUPPORTED ON THE FOUNDATION WALL AND CONCRETE WALL, WILL BE HOLLOW CORE, 1 1/2" O.C. SPAN, WITH PANEL CLIPS.
- DESIGN OF GORE PLATES SUPPORTED ON THE FOUNDATION WALL AND CONCRETE WALL, WILL BE PERFORMED BY A LICENSED ENGINEER.
- ALL WOOD TRUSSES SHALL BE FABRICATED AND USED IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE, LUMBER BUILDING CODE AND CODES.
- ALL GRADE LUMBER, SHALL BE FABRICATED AND USED IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD, L3.3 AND L3.11 OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD.

11. ALL INTERIOR NON-LOAD BEARING WALLS, SHALL BE 3/4" X 16'.

12. ALL LOAD BEARING WALLS, CONSIDERED, WILL HAVE THREE STUDS.

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14. PRE RETARDED LUMBER IS TO BE PRESSURE TREATED LUMBER.

15. ALL GRADE LUMBER, NON-COMBUSTIBLE FIRE RATING.

16. ALL GRADE LUMBER, NON-COMBUSTIBLE FIRE RATING.

17. THE FOLLOWING NAIL SCHEDULES SHALL BE USED UNLESS NOTED OTHERWISE.

BRIDGING TO JOIST OR TRUSS: 3 1/2"

STUD TO SOLE PLATE: 2 1/2"

DOUBLE STUDS: 1 1/2" TO 2 1/2"

DOUBLE TOP PLATES: 1 1/2" TO 2 1/2"

DOUBLE BOTTOM PLATES: 1 1/2" TO 2 1/2"

CONTINUOUS HEADER, TWO CH: 1 1/2" TO 2 1/2"

ROOF SHEATHING: 1 1/2" ALONG EACH EAVE AND

1 1/2" ALONG EACH GABLE AND

1 1/2" ALONG INTERMEDIATE SUPPORTS

8" ALONG INTERMEDIATE SUPPORTS

12" ALONG INTERMEDIATE SUPPORTS

WALL SHEATHING: 1 1/2" ALONG INTERMEDIATE SUPPORTS

8" ALONG INTERMEDIATE SUPPORTS

12" ALONG INTERMEDIATE SUPPORTS

GIF BOARD OR NICHIBAN WALLS: 1 1/2" ALONG INTERMEDIATE SUPPORTS

DYP BOARD OR GAF WALLS: 1 1/2" ALONG INTERMEDIATE SUPPORTS

JOIST TO BEARING WALL: 2 1/2" TOE NAIL, EACH SIDE

18. ALL FLOOR HEATING SHALL BE CLEARED AND SCAFFLED.

19. GLUE SHELL BE 1/2" X 200 FEET EACH SIDE ADHESIVE OR EQUAL.

20. ALL EXTERIOR WALLS TO BE WOOD STUDS W/ 1/2" DYP BOARD

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GENERAL STRUCTURAL NOTES

GENERAL ALL NOTES ARE FOR SUPPLEMENTING THE PLANS AND SPECIFICATIONS AND ARE IN NO WAY TO BE CONSIDERED AS EXCLUDING ANYTHING.

CONTRACTOR IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE STRUCTURAL DRAWINGS AND THEIR DIMENSIONS WITH OTHER DRAWINGS AND IF A CONFLICT EXISTS, HE SHALL RESOLVE THE CONFLICT BY THE CONTRACTOR'S WORK UNTIL THE ARCHITECT HAS RESOLVED THE CONFLICT.

DETAIL: DESIGN AND CONTRACTOR'S WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE IBC 2018 B-20 CODE OR IN ACCORDANCE WITH THE

NOTICE TO CONTRACTOR FOR THE EXISTING STRUCTURE.

FLOOR LOAD:

EXTERIOR LOAD: 40PSF

INTERIOR: 30PSF

ROOF LOAD: 5PSF

EXTERIOR: 10PSF

INTERIOR: 8PSF

OFFICE: 10PSF

GROUND FLOOR: 10PSF

EXTERIOR FACTOR: 1.0

INTERIOR FACTOR: 1.0

LOAD IMPORATANCE FACTOR: 1.0

THICKNESS FACTOR: 1.0

JOINTS: JOINTS ARE TO BE MADE FOR THE APPLICABLE DESIGN LOADS, BUT NOT PLACED ON THE EXISTING. PROVIDED, IT SHALL BE MADE FOR APPROPRIATE PROTECTION AND SUPPORT OF EXISTING CONSTRUCTION, STRENGTH AND INTEGRITY, FOR THE SAFETY AND CONSTRUCTION OF THE NEW.

CONTRACTOR TO BE ADVISED FOR PLATES TO ASSEMBLE THE CURRENT AMERICAN CONCRETE INSTITUTE (ACI) 318-14 REQUIREMENTS FOR REINFORCED CONCRETE. A COPY OF THE CODE WILL BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES.

ALL REINFORCED CONCRETE TO HAVE A COMpressive STRENGTH (f'c) OF 4000 PSF UNLESS OTHERWISE NOTED.

ACI 318-14, SECTION 10.1.1

CONTRACTOR SHALL ENSURE THAT DESIGN ACCOMPANIED BY APPROPRIATE DESIGN AND BACKGROUND DATA FOR APPROVAL FROM DESIGN FIRM, INDICATES 7 AND 28 DAY STRENGTH, ELEMENT CONTENT, AIR CONTENT, WATER-RESISTANT, PLASTICITY, AMOUNT OF LATE AND CHARGE AGGREGATE AND ADDITIVES, ALL EXTERIOR CONCRETE AND CONCRETE EXPOSED TO WEATHER SHALL MEET THE REQUIREMENTS OF THE APPROPRIATE STANDARDS.

CONCRETE DENSITY TESTS SHALL BE MADE BY AN INDEPENDENT QUALIFIED TEST AGENT, TO BE RETAINED AND PAID FOR BY THE CONTRACTOR, IN ACCORDANCE WITH ASTM STANDARDS FOR CONCRETE TESTS OF CEMENT, CONCRETE, AND AGGREGATE.

CONCRETE TESTS SHALL BE MADE IN MEMORANDUMS FOR THE CONTRACTOR'S USE.

NUMBER OF CUBIC PER TEST: 270' X 2' X 4' = 210 cu ft.

NUMBER OF TESTS: 1 TEST

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